

4-H LIVE STOCK SHOW ARENA

OSAGE CITY FAIRGROUNDS

Safford Street Osage City, KS 66523, Osage County

LIST OF DRAWINGS

- G1 PROJECT INFORMATION
- C1 SITE PLAN
- A1 CODE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- S1 BUILDING PLAN
- S2 FOUNDATION PLAN
- S3 END WALL FRAMING
- S4 STRUCTURAL DETAILS
- E1 LIGHTING PLAN
- E2 POWER PLAN

ARCHITECT
Ben Moore Studio, LLC
STRUCTURAL ENGINEER
Schmidt Engineering
MECHANICAL ENGINEER
Schmidt Engineering
CIVIL ENGINEER
None
SURVEYOR
None

ABBREVIATIONS:

A.C.T. ACOUSTIC CEILING TILE	F.O.S. FACE OF STUD	Q.T. QUARRY TILE
A.F.F. ABOVE FINISH FLOOR	F.R.P. FIBERGLASS REINFORCED PANEL	R.O.L. ROOF DRAIN LEADER
ADJ. ADJACENT	F.R.T. FIRE RETARDANT TREATED	R.O. ROUGH OPENING
ALT. ALTERNATE	F.S. FLOOR SINK	RAD. RADIUS
ALUM. ALUMINUM	FIN. FINISH	REINF. REINFORCEMENT
APPROX. APPROXIMATE	FL. FLOOR	REQD. REQUIRED
ARCH. ARCHITECT	GALV. GALVANIZED	RES. RESILIENT
BD. BOARD	GWB. GYPSUM WALL BOARD	RM. ROOM
BLDG. BUILDING	GYP. GYPSUM	S.C. SOLID CORE
C.A. CLEAR ANODIZED	HGT. HEIGHT	S.F. SQUARE FOOT
C.G. CORNER GUARD	HORIZ. HORIZONTAL	SHT. SHEET
C.J. CONTRACTION JOINT	HR. HOUR	SIM. SIMILAR
C.M.U. CONCRETE MASONRY UNIT	ID. INSIDE DIAMETER	ST. STAIN
C.T. CERAMIC TILE	INSUL. INSULATION	STD. STANDARD
CEM. CEMENT	JST. JOIST	STC. STAGGER TOP AND BOTTOM
CER. CERAMIC	JT. JOINT	STL. STEEL
CLG. CEILING	LAM. LAMINATE	STOR. STORAGE
COL. COLUMN	LAV. LAVATORY	STRUC. STRUCTURE
CONC. CONCRETE	M.O. MASONRY OPENING	SUSP. SUSPENDED
CONT. CONTINUOUS	MACH. MACHINE	SYNTH. SYNTHETIC
CORR. CORRIDOR	MAX. MAXIMUM	T.O.S. TOP OF STEEL
D.S. DOWNSPOUT	MECH. MECHANICAL	TEL. TELEPHONE
DET. DETAIL	MIN. OR MN. MINIMUM	THK. THICKNESS
DIA. DIAMETER	MISC. MISCELLANEOUS	TYP. TYPICAL
DN. DOWN	MNT. MOUNT, OR MOUNTED	U.N.O. UNLESS NOTED OTHERWISE
DWG. DRAWING	MET. METAL	UTIL. UTILITY
E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM	N.I.C. NOT IN CONTRACT	V.C.T. VINYL COMPOSITION TILE
E.J. EXPANSION JOINT	N.T.S. NOT TO SCALE	V.W.C. VINYL WALL COVERING
E.O.S. EDGE OF SLAB	NO. NUMBER	VERT. VERTICAL
EA. EACH	O.C. ON CENTER	W.P. WATER PROOFING
ELEC. ELECTRICITY	O.F.C.I. OWNER FURNISHER & CONTRACTOR	W.W.F. WELDED WIRE FABRIC
ELEV. ELEVATOR	O.R.D. OVERFLOW ROOF DRAIN	W/ WITH
EQ. EQUAL	OD. OUTSIDE DIAMETER	W/O WITHOUT
EXIST. EXISTING	OPP. OPPOSITE	WC. WATER CLOSET
EXP. EXPANSION	P.L. OR PLAM. PLASTIC LAMINATE	WD. WOOD
EXT. EXTERIOR	P.T. PRESSURE TREATED	WT. WEIGHT
F.D. FLOOR DRAIN	PLYWD. PLYWOOD	
F.E. FIRE EXTINGUISHER	PNT. PAINT	
F.E.C. FIRE EXTINGUISHER CABINET	Q.T. QUARRY TILE	
F.H.C. FIRE HOSE CABINET		
F.O.B. FACE OF BRICK		

PROJECT GENERAL NOTES:

BEN MOORE STUDIO, LLC CERTIFIES TO THE BEST OF OUR KNOWLEDGE AND INFORMATION, AND IN ACCORDANCE WITH ACCEPTED PROFESSIONAL STANDARDS, WE HAVE COMPLIED WITH APPLICABLE GOVERNING CODES PERTAINING TO BUILDING ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED AND THE AMERICANS WITH DISABILITIES ACT (ADA) TITLE III ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.

IN THE EVENT OF CONFLICTS, EXPLANATORY NOTES IN THE DRAWINGS TAKE PRECEDENCE OVER GRAPHIC INDICATIONS; LARGE-SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS, AND FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

IF AND TO THE EXTENT OF ANY INCONSISTENCY, AMBIGUITY, DISCREPANCY, OR ERROR IN THE CONTRACT DOCUMENTS (REFERRED TO AS "DISCREPANCY" COLLECTIVELY IN THIS PARAGRAPH), THE CONTRACTOR SHALL IMMEDIATELY SEEK CLARIFICATION FROM THE ARCHITECT. IN INTERPRETING THE CONTRACT DOCUMENTS, ALL TERMS AND CONDITIONS SHALL BE HARMONIZED AND EFFECTUATED, AND NONE SHALL BE RENDERED SUPERFLUOUS OR MEANINGLESS. IN THE EVENT OF A DISCREPANCY THAT CANNOT BE HARMONIZED, THE INTERPRETATION THAT IMPOSES THE MOST STRINGENT PERFORMANCE OBLIGATION ON THE CONTRACTOR SHALL CONTROL.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND WORK OF ALL SUBCONTRACTORS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT THE INSTALLATION AND WORKMANSHIP OF ALL MATERIAL AND EQUIPMENT IS PERFORMED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT, MATERIALS AND LABOR. EXCEPT AS OTHERWISE SPECIFIED, AND PERFORM ALL WORK REQUIRED BY THIS CONTRACT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR THE SAFETY, EFFICIENCY, AND ADEQUACY OF HIS PLANT, APPLICANTS, AND METHODS, AND FOR ANY DAMAGE WHICH MAY RESULT FROM THEIR FAILURE OR THEIR IMPROPER CONSTRUCTION, MAINTENANCE OR OPERATION.

GENERAL CONTRACTOR, ALL OTHER CONTRACTORS, AND ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND SHALL COOPERATE WITH ALL OTHER TRADES SO AS TO FACILITATE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR STORAGE OF THEIR MATERIALS.

CONTRACTOR SHALL IN ALL CASES, SCHEDULE AND COMPLETE WORK SO AS TO MINIMIZE DOWN TIME AND INCONVENIENCE TO THE TENANTS INCLUDING BUT NOT LIMITED TO WORKING DURING TENANT CLOSED HOURS WHEN POSSIBLE.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL DIMENSIONAL VARIATIONS FROM THOSE SHOWN ON THE DRAWINGS WITH ALL TRADES AFFECTED. THE CONTRACTORS BID SHALL REFLECT THESE VARIATIONS.

ALL REFERENCES TO CODES, SPECIFICATIONS, AND STANDARDS IN THE DRAWINGS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION AMENDMENT AND/OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THESE CONTRACT DOCUMENTS.

THE CONTRACTOR IS TO PAY FOR ALL TESTS, PERMITS, LICENSES, CONSTRUCTION TAXES, AND FEES REQUIRED BY THE CITY, COUNTY, AND STATE LAWS, EXCEPT GENERAL BUILDING PLAN CHECK FEE WHICH WILL BE PAID BY THE OWNER. CONTRACTOR IS RESPONSIBLE TO CALL FOR INSPECTIONS, OBTAIN PERMITS AND FINAL CERTIFICATE OF OCCUPANCY.

INCLUDE IN ALL CONTRACTS, NECESSARY EXPENSES TO COMPLY WITH ALL SUCH LAWS, ORDINANCES, REGULATIONS, FEES PERMITS AND TAXES. ARRANGE FOR ALL METER INSTALLATIONS AND UTILITY CONNECTIONS AND PAY FOR THESE FEES.

IT IS RECOMMENDED THAT THE SITE BE VISITED PRIOR TO SUBMISSION OF ANY BID. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE CONSTRUCTION DOCUMENTS.

DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A COMPLETE BUILDING. EXECUTE PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED ACCORDING TO STANDARD AND CUSTOMARY TRADE PRACTICES AND IN SIMILAR MANNER AND SPIRIT OF DETAILS WHICH ARE SHOWN ON DRAWINGS OR DESCRIBED IN SPECIFICATIONS.

FOLLOW SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS.

FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE. AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS.

DETAILS WHICH IN THE OPINION OF THE CONTRACTOR ARE UNSOUND, UNSAFE OR NOT WATERPROOF SHALL BE CONVEYED TO THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION.

OPERABLE PARTS (SWITCHES, RECEPTACLES, ETC) MUST COMPLY WITH ADA REACH RANGES.

CONTRACTOR AT CLOSE OUT IS TO MAKE SURE ALL WARRANTIES ARE SUBMITTED TO BUILDING OWNER. PRIOR TO CONSTRUCTION CONTRACTOR SHALL PROVIDE INSURANCE CERTIFICATES ACCEPTABLE TO OWNER.

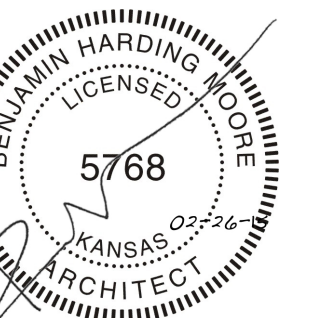
CONTRACTOR TO COORDINATE WITH LANDLORD FOR WORKING ON SITE RULES AND REGULATIONS.

PRIOR TO SUBMITTING BID, CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SPACE, ARCHITECTURAL PLANS AND IF THERE IS A DISCREPANCY - AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CONTRACTOR TO COORDINATE WITH OWNER FOR CONNECTION TO BUILDING HVAC SYSTEM, ELECTRICAL SERVICE, TELEPHONE AND DATA SERVICE. DAMAGES: PROMPTLY REPAIR DAMAGES TO EXISTING CONSTRUCTION TO REMAIN CAUSED BY DEMOLITION WORK.

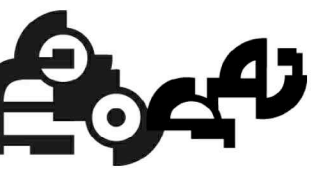
CLEAN OUT: CONTRACTOR SHALL REMOVE ALL OBJECTS FROM SITE AFTER NEW CONSTRUCTION IS COMPLETED.

PROTECTION: CONTRACTOR SHALL PROVIDE FOR PROPER BARRICADES, LIGHTING SIGNAGE TO PROTECT THE EXISTING BUILDING, PARKING LOT, PUBLIC AND WORKERS. CONTRACTOR TO PROVIDE "SAFE" ACCESS TO SPACES AT ALL TIMES. CONTRACTOR TO NOT INTERFERE WITH ADJACENT TENANTS, NO DEBRIS TO INTERFERE WITH THE PUBLIC - CHECK WITH BUILDING OWNER FOR LOCATION FOR TRASH DUMPSTER.

CONTRACTOR SHALL VERIFY EXISTING FIRE WALLS AND FIRE SEPARATION BY ACCEPTABLE MEANS REQUIRED BY THE LOCAL JURISDICTION



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West Safford Osage City, KS 66523, Osage County

contractor shall check & verify all dimensions & conditions at the job site

date: FEB. 26, 2015

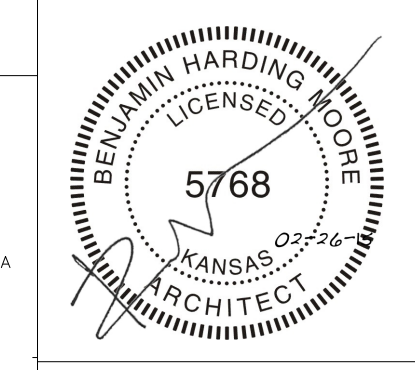
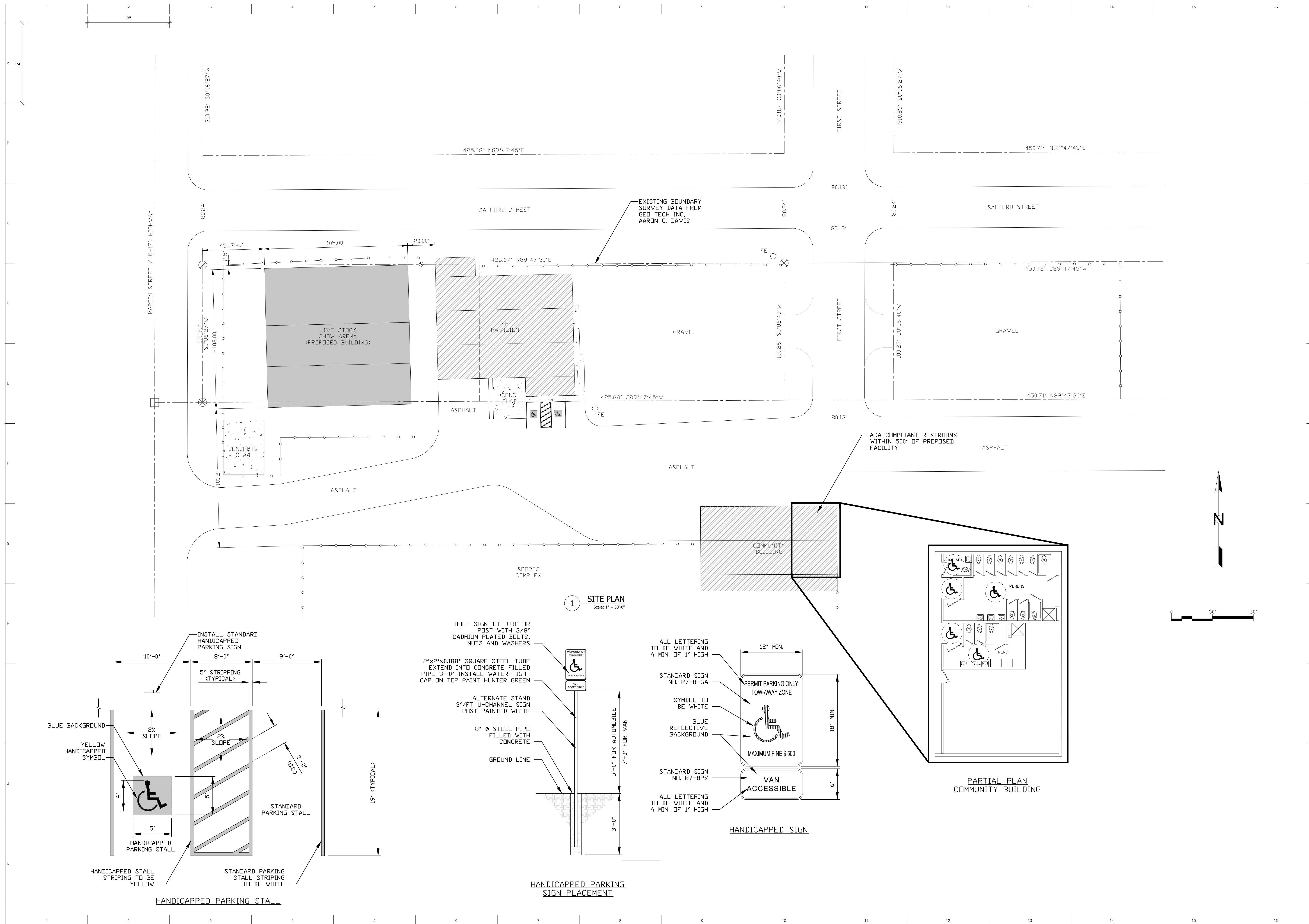
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title: PROJECT INFORMATION

sheet:

G1
of
12

project: 14-45



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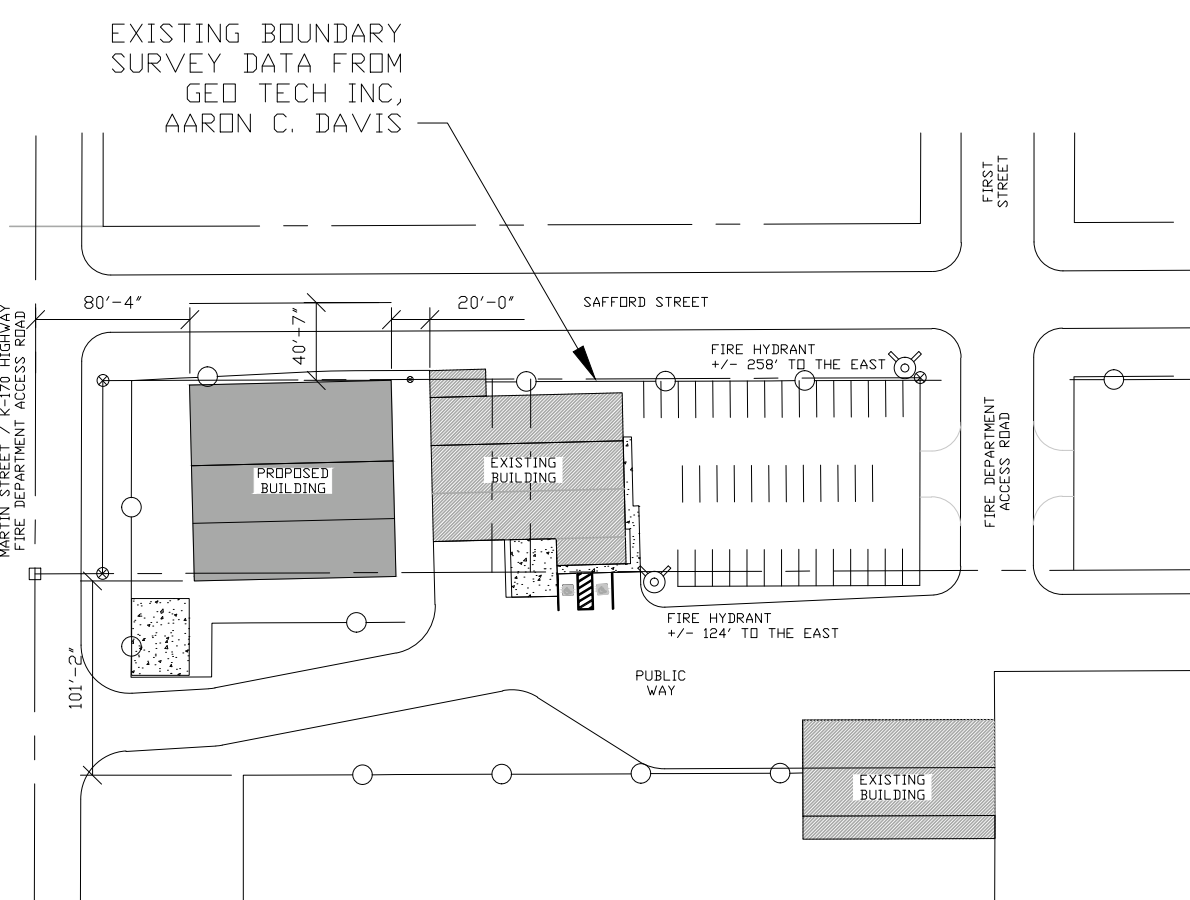
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date: FEB. 26, 2015
REVISION:
title: CODE PLAN
sheet: A1 of 12
project: 14-45

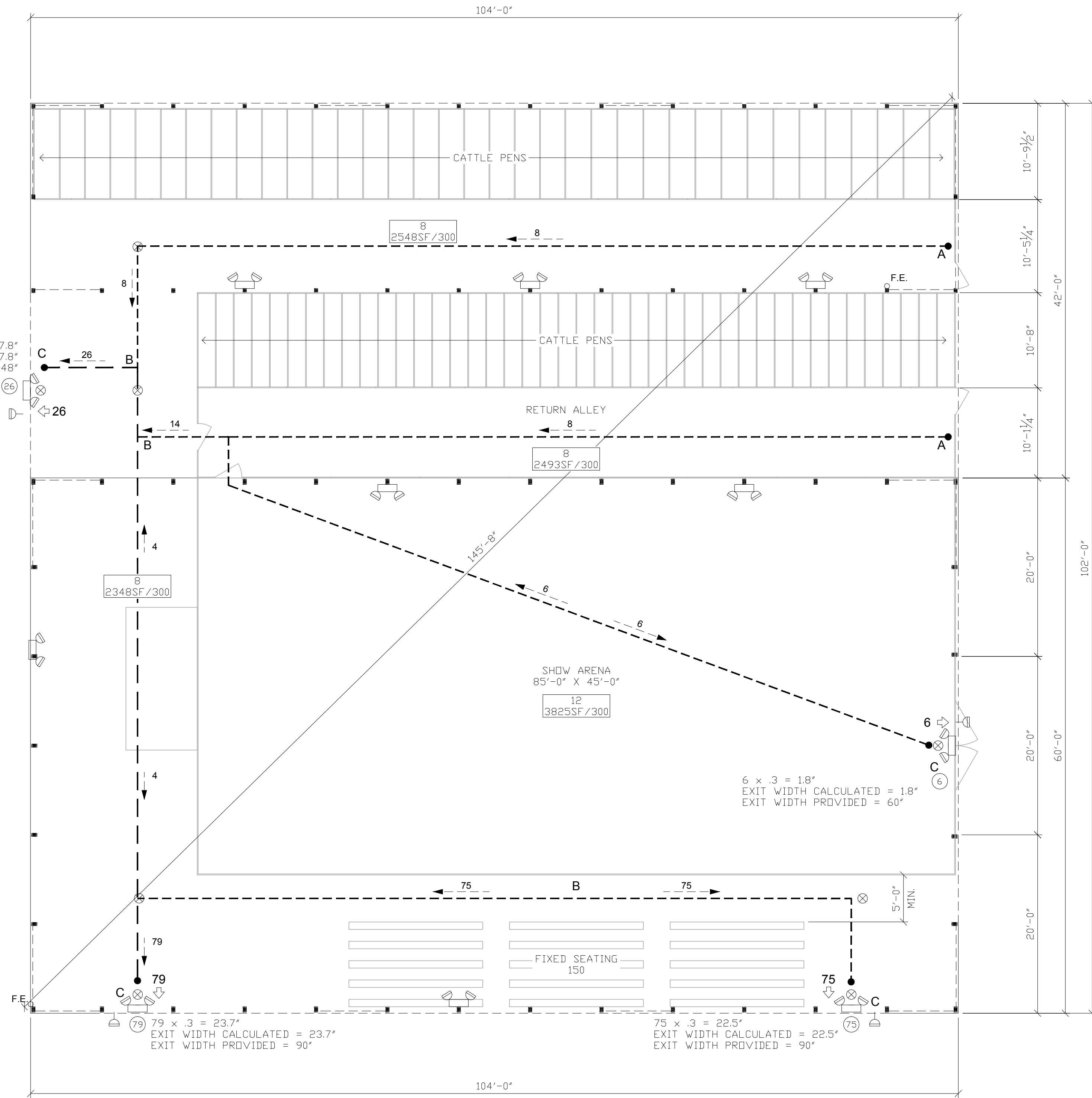
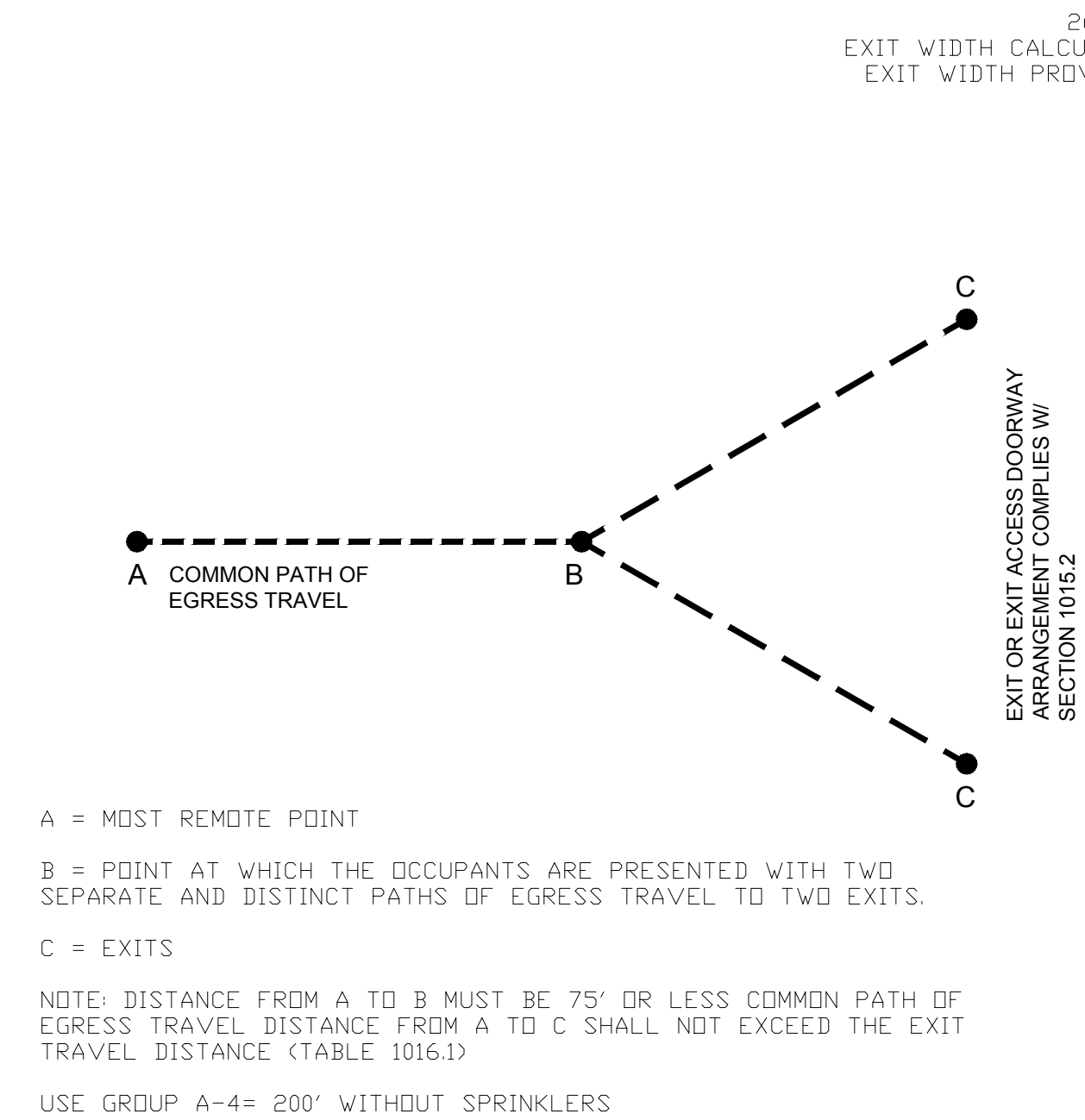
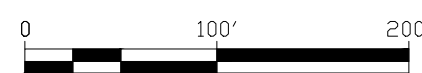
PROJECT NARRATIVE	
1	PROJECT CONSTRUCTION PURPOSE NEW CONSTRUCTION
2	REASON FOR SUBMITTAL NEW CONSTRUCTION
3	CODES USED 2009 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL MECHANICAL CODE 2009 INTERNATIONAL PLUMBING CODE 2005 NATIONAL ELECTRIC CODE KANSAS FIRE PREVENTION CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
4	BUILDING LOCATION OSAGE CITY FAIR GROUNDS OSAGE CITY, OSAGE COUNTY, KANSAS 66523
5	OWNER OSAGE CITY FAIR BOARD / CITY OF OSAGE CITY OSAGE CITY, KANSAS 66523
6	DATE DEVELOPED FEBRUARY 26, 2015
7	DESIGNER BEN MOORE STUDIO, LLC BEN MOORE, ARCHITECT 1501 H AVE COUNCIL GROVE, KS 66846 785-477-3379 ben@benmoorestudio.com
8	DESIGNER SEAL RA ON DRAWING
9	NAME OF RESPONDING FIRE DEPARTMENT OSAGE CITY FIRE DEPARTMENT
10	NAME OF LOCAL BUILDING INSPECTION DEPARTMENT OSAGE CITY BUILDING INSPECTOR
11	EACH OCCUPANCY GROUP AND TYPE A-4 PER 2006 IBC 303.1
12	TYPE OF CONSTRUCTION NEW V-B (Table 601)
13	STRUCTURAL CODE REQUIREMENTS
A	TOTAL FLOOR AREA OF EACH OCCUPANCY BOTH ACTUAL AND ALLOWABLE BASIC ALLOWABLE AREA (A-4, V-B) - 6,000 SF PER FLOOR FLOOR AREA INCREASE PER 506 506.1 EQUATION 5-1 (Aa=[A1 + [A1 X 1]] + [A1 X 16]) 506.1 EQUATION 5-1 (10,500/[6000 + (6000 X 0.75)] + [6000 X 0]) 506.2 EQUATION 5-2 (I=[F/P - 25]/W/30) 506.2 EQUATION 5-2 (I=[75-(444/444 - 25)/30/30]) ACTUAL ALLOWABLE AREA = 10,500 SQ.FT. ACTUAL AREA = 10,497 SQ.FT. TOTAL AREA = 10,497 SQ.FT FORMULA = 9,477 SQ.FT / 300 = 36 OCCUPANTS FORMULA = 225 LN.FT / 1.5 = 150 OCCUPANTS (FIXED SEATING)
B	HEIGHT AND AREA LIMITATIONS BOTH ACTUAL AND ALLOWABLE STORIES ALLOWABLE ONE STORY ACTUAL
C	STRUCTURAL FIRE RATINGS BOTH ACTUAL AND ALLOWABLE BUILDING RESISTIVE CONSTRUCTION REQUIREMENTS - TABLE 601 STRUCTURAL FRAME - 0 HOURS ALLOWABLE, 0 ACTUAL BEARING WALLS EXTERIOR - 0 HOURS ALLOWABLE, 0 HOURS ACTUAL BEARING WALLS INTERIOR - 0 HOURS ALLOWABLE, 0 HOURS ACTUAL NONBEARING WALLS INTERIOR - 0 HOURS ALLOWABLE, 0 HOURS ACTUAL FLOOR CONSTRUCTION - 0 HOURS ALLOWABLE, 0 HOURS ACTUAL ROOF CONSTRUCTION - 0 HOURS ALLOWABLE, 0 HOURS ACTUAL FIRE RESISTIVE RATINGS FOR EXTERIOR WALLS - TABLE 602 X = 5 = (ALLOWABLE 1) (ACTUAL N/A) 5 X X = 10 = (ALLOWABLE 1) (ACTUAL N/A) 10 X X = 30 = (ALLOWABLE 0) (ACTUAL 0) X = 30 = (ALLOWABLE 0) (ACTUAL N/A)
14	IDENTIFICATION OF ACTIVE FIRE ALARM SYSTEMS AND LOCATIONS NONE
A	AUTOMATIC SUPPRESSION SYSTEM NONE
B	FIRE ALARM SIGNALING SYSTEM NONE
C	EMERGENCY LIGHTING AND DP POWER PROVIDED - EXIT SIGNS W/ BATTERY BACKUP, EMERGENCY LIGHTS W/ BATTERY BACKUP
D	SMOKE CONTROL SYSTEM NONE
15	WATER SUPPLY REQUIREMENTS OF THE FACILITY FOR FIRE SUPPRESSION NA
16	ALTERNATIVE METHODS OF DESIGN OR CONSTRUCTION OR BOTH NONE

ACCESSIBILITY PROVISIONS	
NEW ADA COMPLIANT RESTROOM	
EXISTING ADA COMPLIANT LAV	IN MEN, WOMEN, & ONE IN UNISEX
EXISTING AMBULATORY TOILET STALL	ONE IN MEN, ONE IN WOMEN, ONE IN UNISEX
ADA COMPLIANT PARKING	2 EXISTING

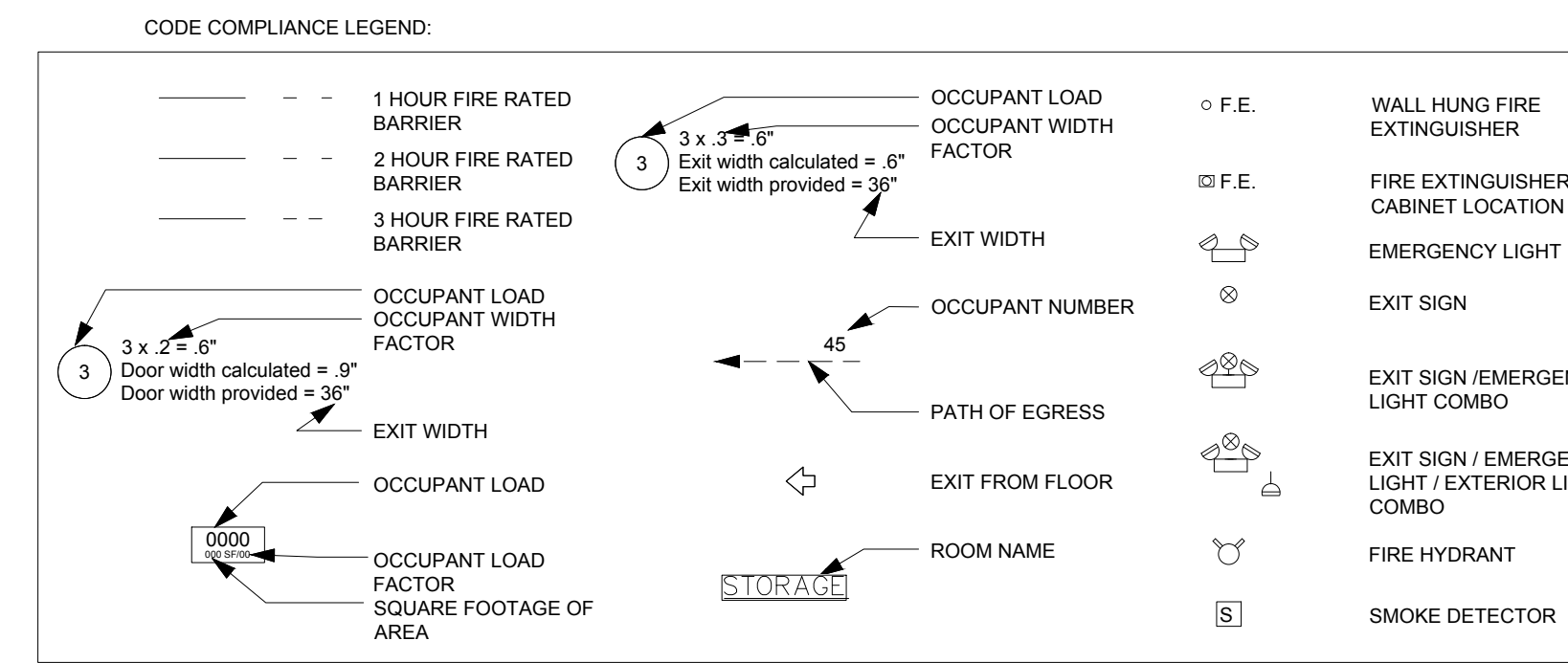
CODE FOOT PRINT		
1	GRAPHIC BAR SCALE	PROVIDED
2	NORTH DIRECTIONAL ARROW	PROVIDED
3	COMPLETE BUILDING FLOOR PLAN WITH A CLEAR IDENTIFICATION OF NEW, REMODELED AND EXISTING PORTIONS	PROVIDED
4	IDENTIFICATION OF ALL PERMANENT PARTITIONS TALLER THAN 6"	PROVIDED
5	A LABEL WITH PLAIN TEXT, KEYNOTES OR LEGENDS FOR EACH ROOM AND SPACE	PROVIDED
6	OCCUPANT LOAD OF ASSEMBLY ROOMS AND TOTAL OCCUPANT FOR EACH FLOOR LEVEL	PROVIDED
7	IDENTIFICATION OF OPENINGS AND RATINGS OF STAIR AND SHAFT ENCLOSURES	N/A
8	IDENTIFICATION OF OPENINGS AND RATINGS OF CORRIDORS AND OPENINGS	PROVIDED
9	IDENTIFICATION OF OCCUPANCY AND AREA SEPERATION	PROVIDED
10	IDENTIFICATION OF ALL HORIZONTAL EXIT ARRANGEMENTS, EXIT PASSAGEWAYS, AND SMOKE COMPARTMENTS	PROVIDED
11	IDENTIFICATION OF ALL REQUIRED EXTERIOR EXITS AND EXIT CAPACITY	PROVIDED
12	THE LOCATION OF THE CENTRAL FIRE ALARM CONTROL PANEL ANY REMOTE ANNUNCIATOR PANELS	N/A
13	LOCATION OF EACH FIRE DEPARTMENT SUPPLY CONNECTION	N/A
14	LOCATION OF FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS	PROVIDED
15	DISTANCE TO PROPERTY LINES AND EXPOSURES	PROVIDED
16	IDENTIFICATION OF ANY SPECIAL HAZARDS OR CONDITIONS	N/A
17	LOCATION OF ANY ANTICIPATED FUTURE ADDITIONS	N/A



2 Code Compliance Site Plan
Scale: 1" = 100'-0"

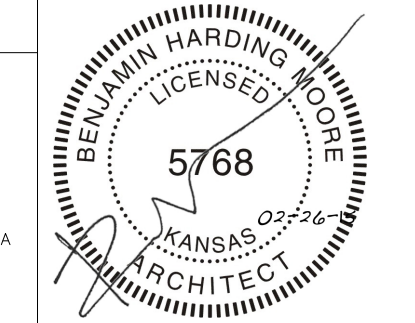


1 Code Compliance Plan
Scale: 1/8" = 1'-0"



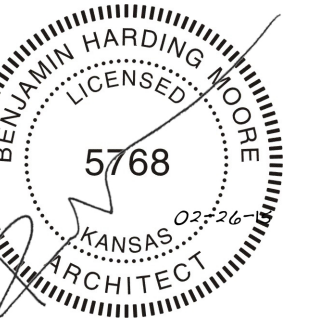
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date: FEB. 26, 2015
REVISION:
title: CODE PLAN
sheet: A2 of 12
project: 14-45



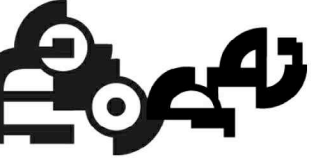
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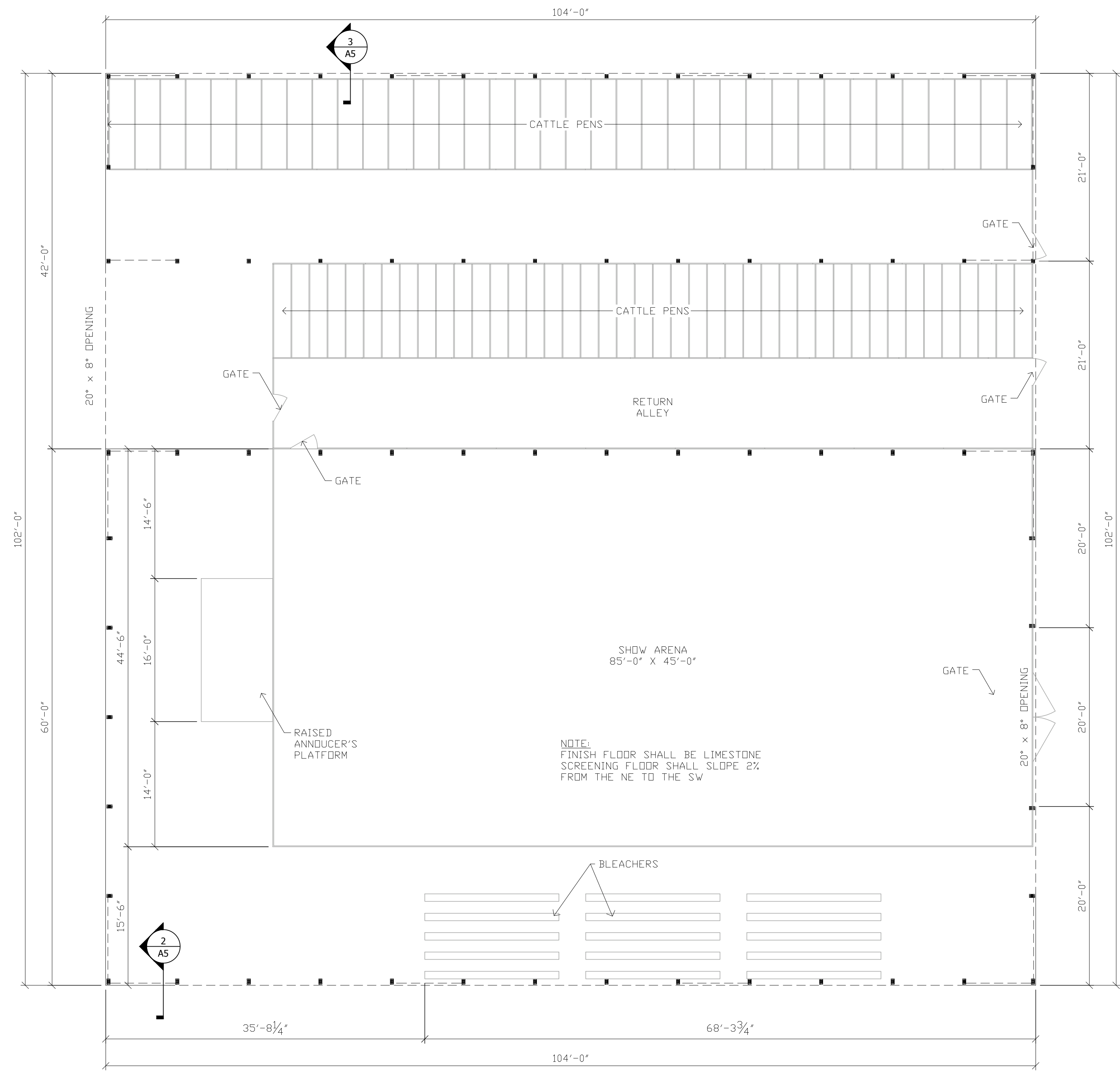
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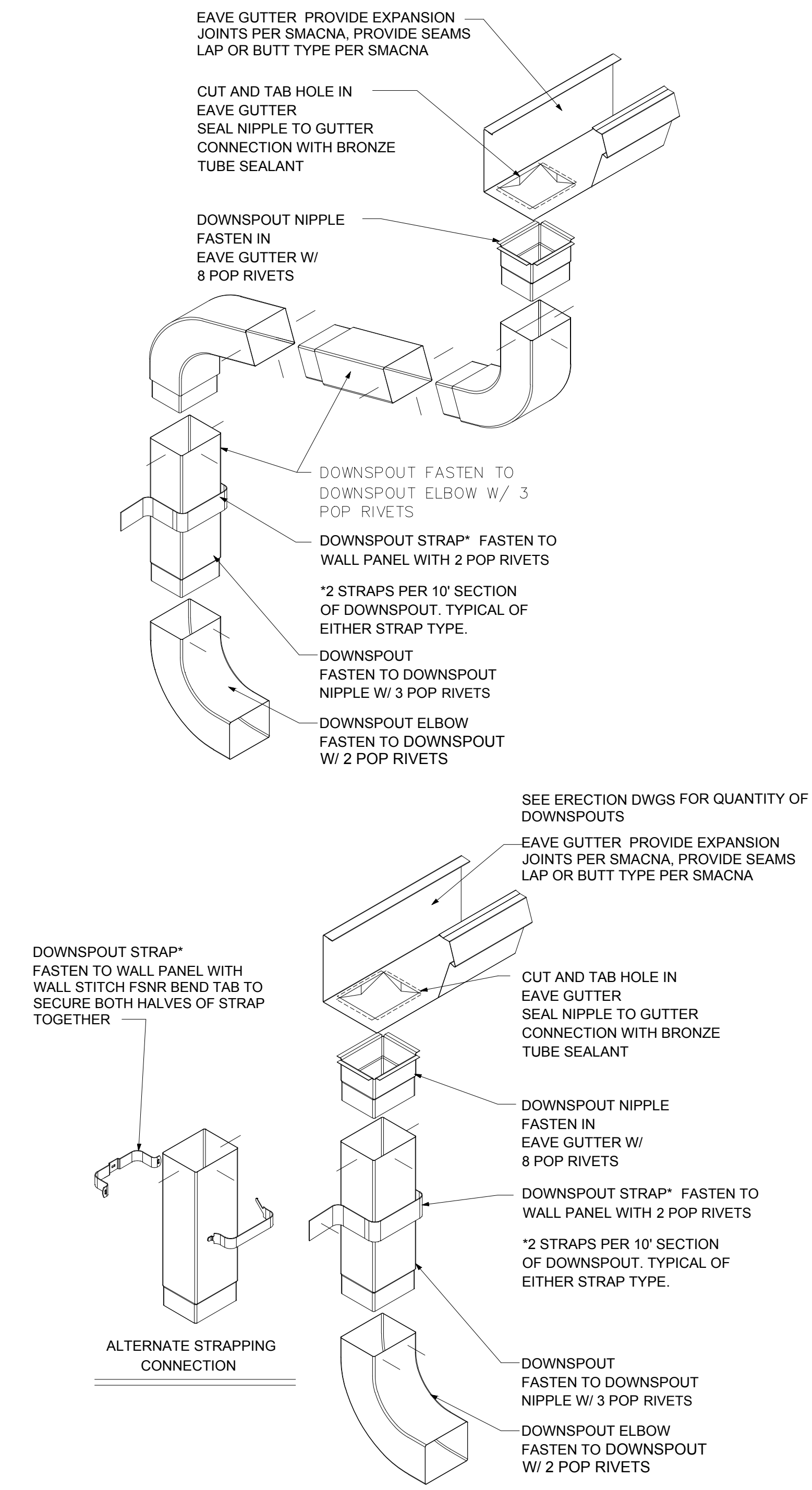
sheet:

A3
 of
 12

project: 14-45



3 Floor Plan
 Scale: 1/8" = 1'-0"



NOTE:
 1. FIELD BENDING STRAP TO DOWNSPOUTS SHAPE REQUIRED
 2. PROVIDE 2' LEADER AND SPLASH BLCK AT DOWNSPOUT LOCATIONS.

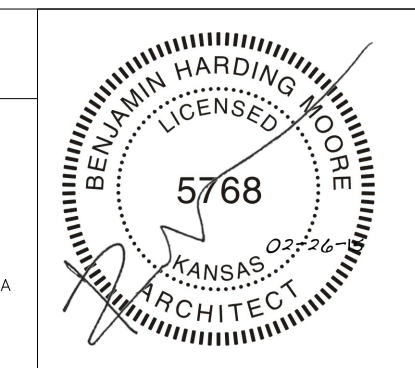
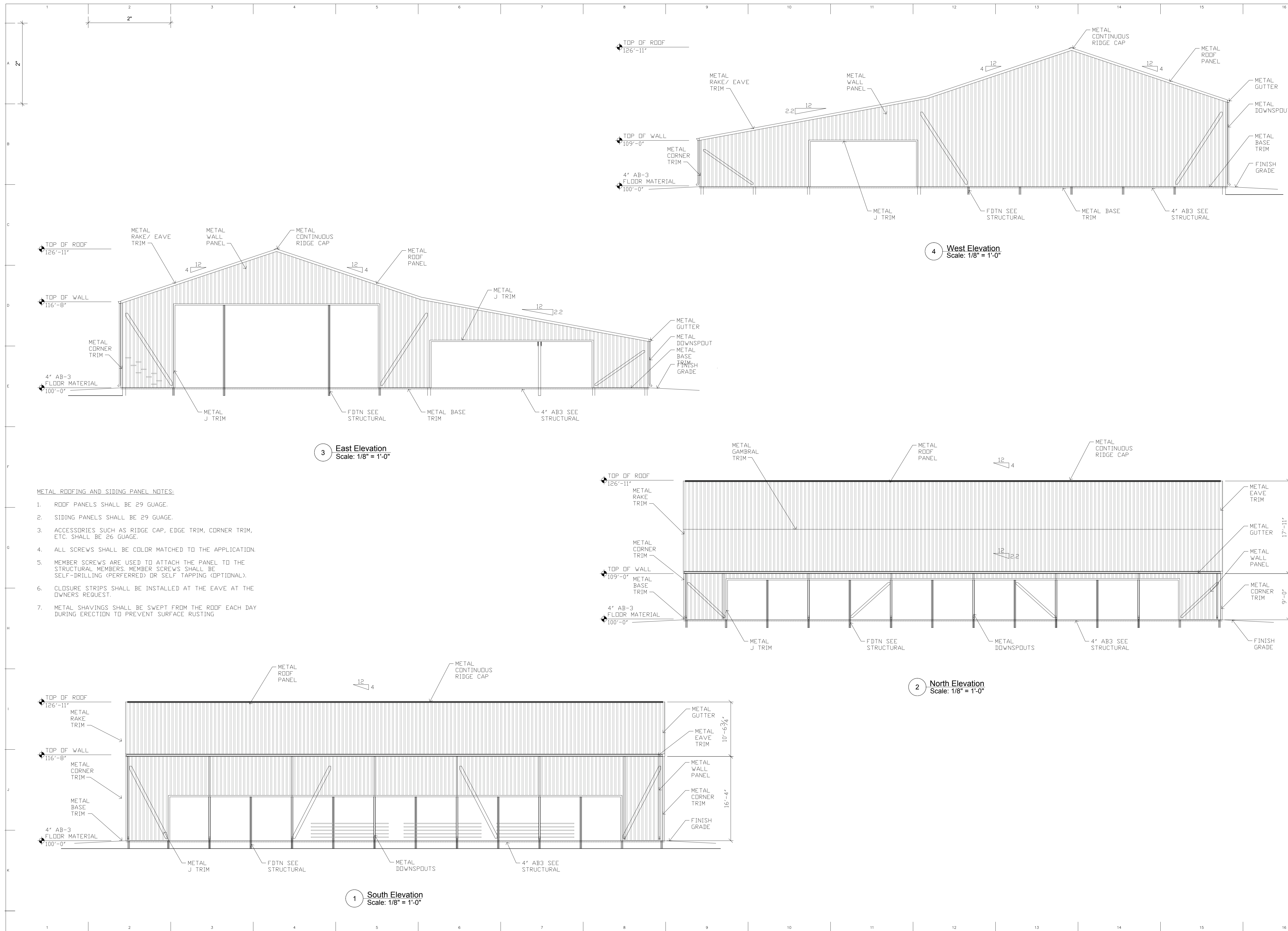
2 Gutter Details
 Scale: Not To Scale

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ARCHITECT/ENGINEER.
- GENERAL CONSTRUCTION SHALL EQUAL OR EXCEED THE MINIMUM REQUIREMENTS OF THE 2009 INTERNATIONAL BUILDING CODE.

DESIGN:

- CODES, SPECIFICATION AND STANDARDS
 ALL CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE NOTED TO THE CONTRARY ON THE DRAWINGS AND SPECIFICATIONS OR WHERE MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR SHOWN
- ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING
 - 2009 INTERNATIONAL BUILDING CODE (IBC)
 - 2005 NATIONAL ELECTRICAL CODE (NEC)



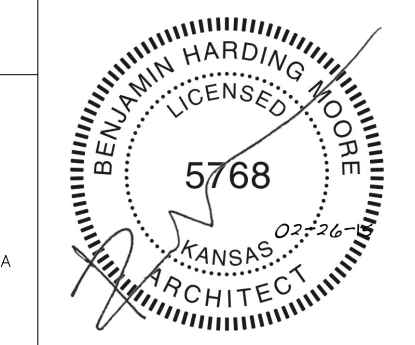
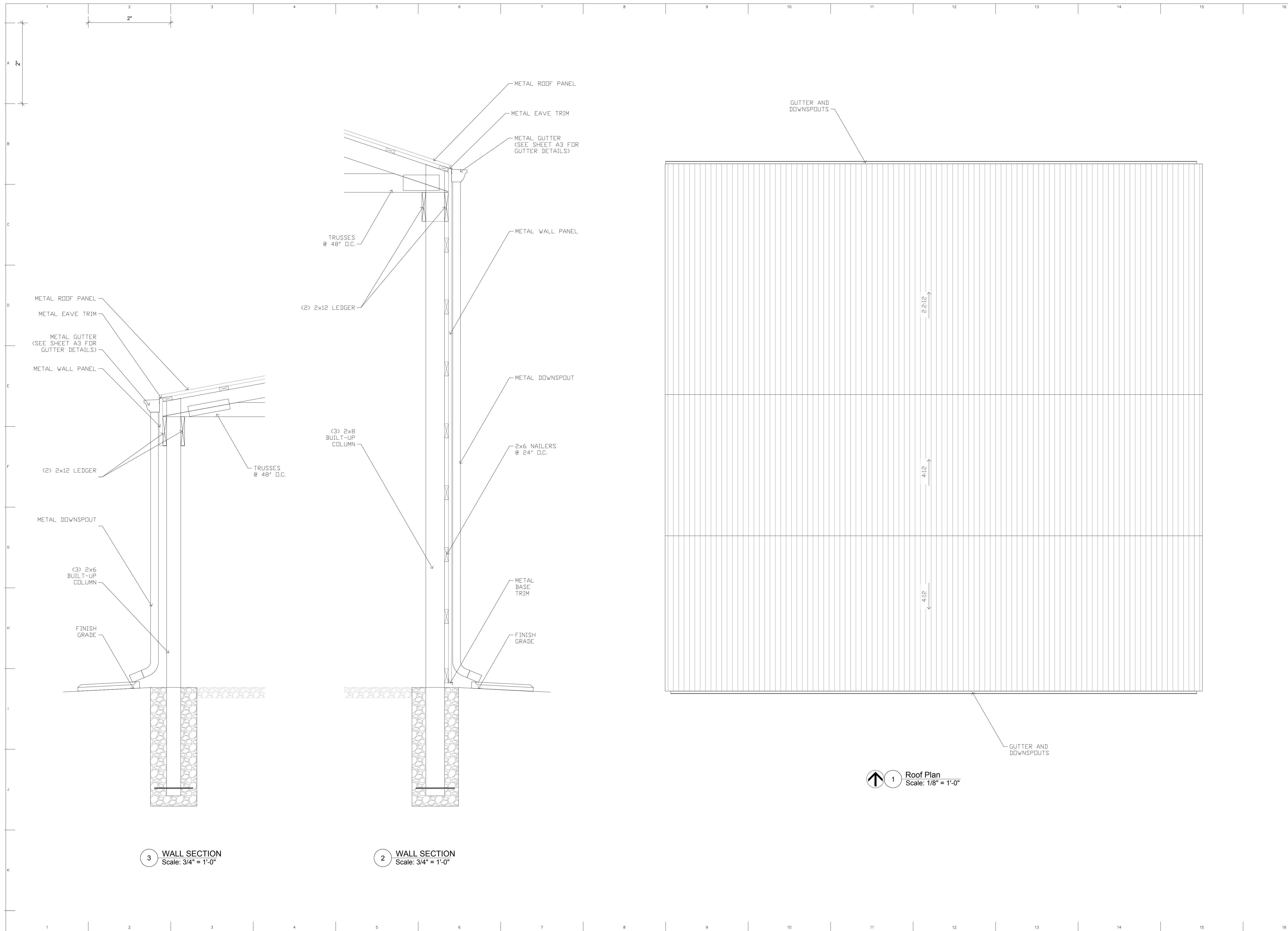
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date: FEB. 26, 2015	
REVISION:	
title: ELEVATIONS	
sheet: A4 of 12	
project: 14-45	



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sheet: A5 of 12	
project: 14-45	