

# LIST OF DRAWINGS:

CVR TITLE SHEET

## ARCHITECTURAL:

- A100 DEMOLITION PLAN
- A101 PROPOSED PARTIAL PLAN
- A200 WEST ELEVATION
- A300 TRANSVERSE SECTION
- A301 LONGITUDINAL SECTION

## MECHANICAL / ELECTRICAL / PLUMBING:

- MEP 100 PROPOSED LIGHTING PLAN

## STRUCTURAL:

- S 100 PROPOSED FRAMING PLAN

## CODE REVIEW:

Applicable Codes: 2006 IBC, 2006 UPC, 2003 UMC, 2005 NEC, 1997 UBC  
 1997 Uniform Code for Building Conservation  
 Kansas Fire Protection Code, 1997 Edition

Occupance Type: A-2

Zoned: C-4

Use: Assembly

Actual Floor Area Dining: 3,007 s.f.

Actual Floor Area Kitchen: 1,102 s.f.

Total: 4,109 s.f.

Number of Stories: 2

Maximum Allowable Building Height: 55'-0"

Maximum Building Height: 32'-5"

Occupant Load: 205

Egress Required: 2

Egress Provided: 2

NOTE: For additional information refer to plans dated  
 02/1997, 05/2002, 05/2007

## CONTACT INFORMATION:

### OWNER:

CASA RAMOS  
 707 COMMERCIAL STREET  
 Emporia, KS 66801  
 Phone: 620.340.0640

### UTILITY CONTACTS:

CABLEVISION  
 620.342.3535

CITY OF EMPORIA  
 620.340.6331

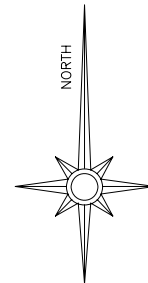
### CONTRACTOR:

FRANCIS SPRINGEMAN  
 SPRINGEMAN CONSTRUCTION  
 2201 E HWY 50  
 EMPORIA, KS 66801  
 Phone: 620 343 7968

KANSAS GAS SERVICE  
 1.800.794.4780

S.W. BELL  
 316.268.2244

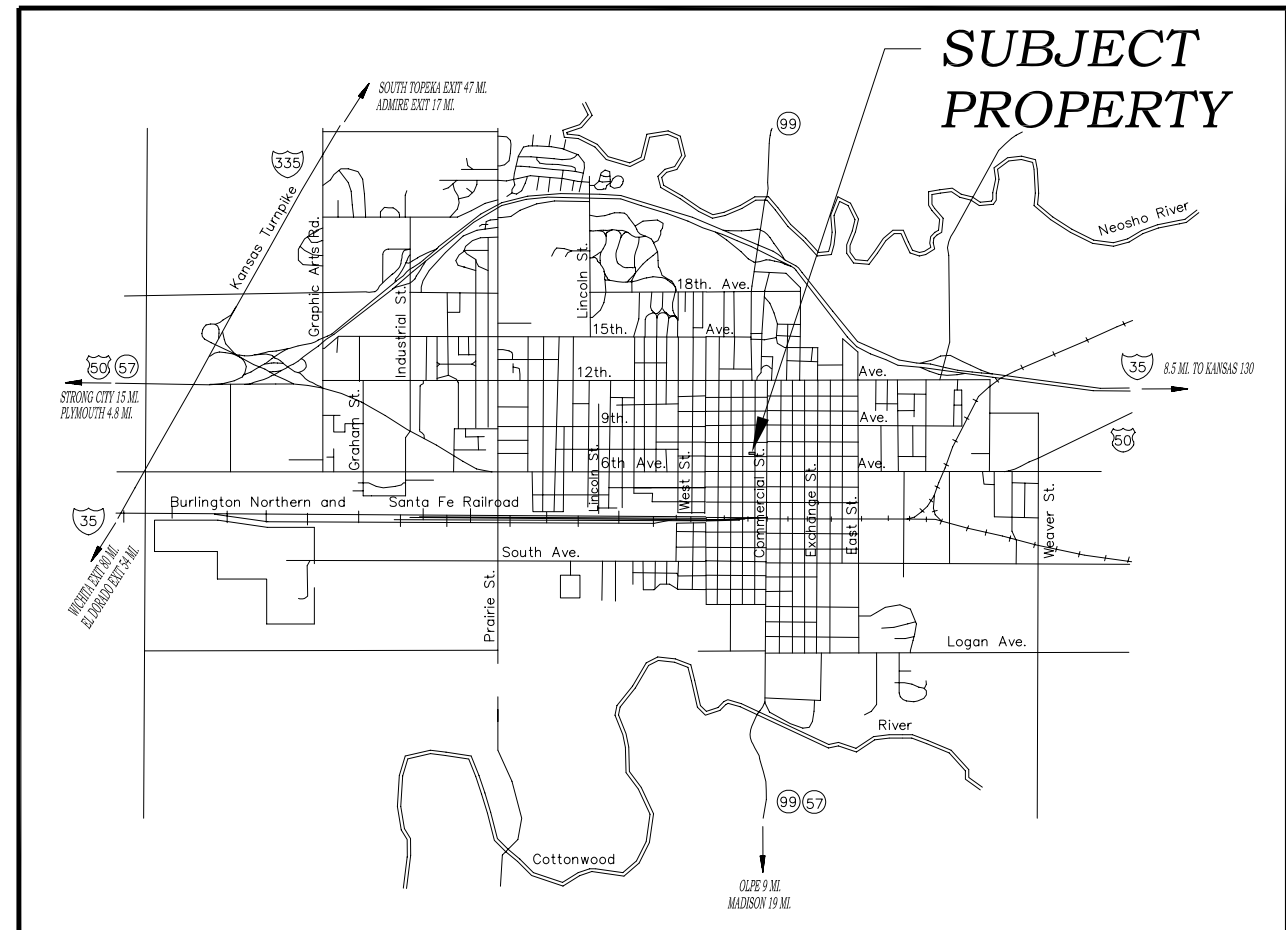
WESTAR ENERGY  
 620.341.7053



CITY OF EMPORIA  
 LYON COUNTY, KANSAS

LOCATION MAP  
NOT TO SCALE

# KITCHEN EXPANSION FOR CASA RAMOS 707 COMMERCIAL STREET CITY OF EMPORIA, KANSAS



Approved By:

\_\_\_\_\_  
 City Engineer, City of Emporia, Kansas

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Codes Administrator, City of Emporia, Kansas

\_\_\_\_\_  
 Date

PREPARED BY:

**CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.**

- CIVIL, STRUCTURAL, AND TRANSPORTATION ENGINEERING -  
 - CONSTRUCTION MANAGEMENT AND MAINTENANCE INSPECTION -  
 - HYDROLOGIC AND HYDRAULIC STUDIES -  
 17 W. 5th Ave., EMPORIA, KS 66801  
 (620) 343-6621 FAX (620) 343-6621

CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.  
 CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT  
 17 West 5th Avenue Emporia, KS 66801  
 (620) 343-6621 FAX (620) 343-6621



No.	Date	Revisions	By	Appr.
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KITCHEN REMODELING  
 707 COMMERCIAL STREET  
 EMPORIA, KANSAS

Date: 01/08/14

Designed: DWO

Drawn: KHG

Checked: DWO

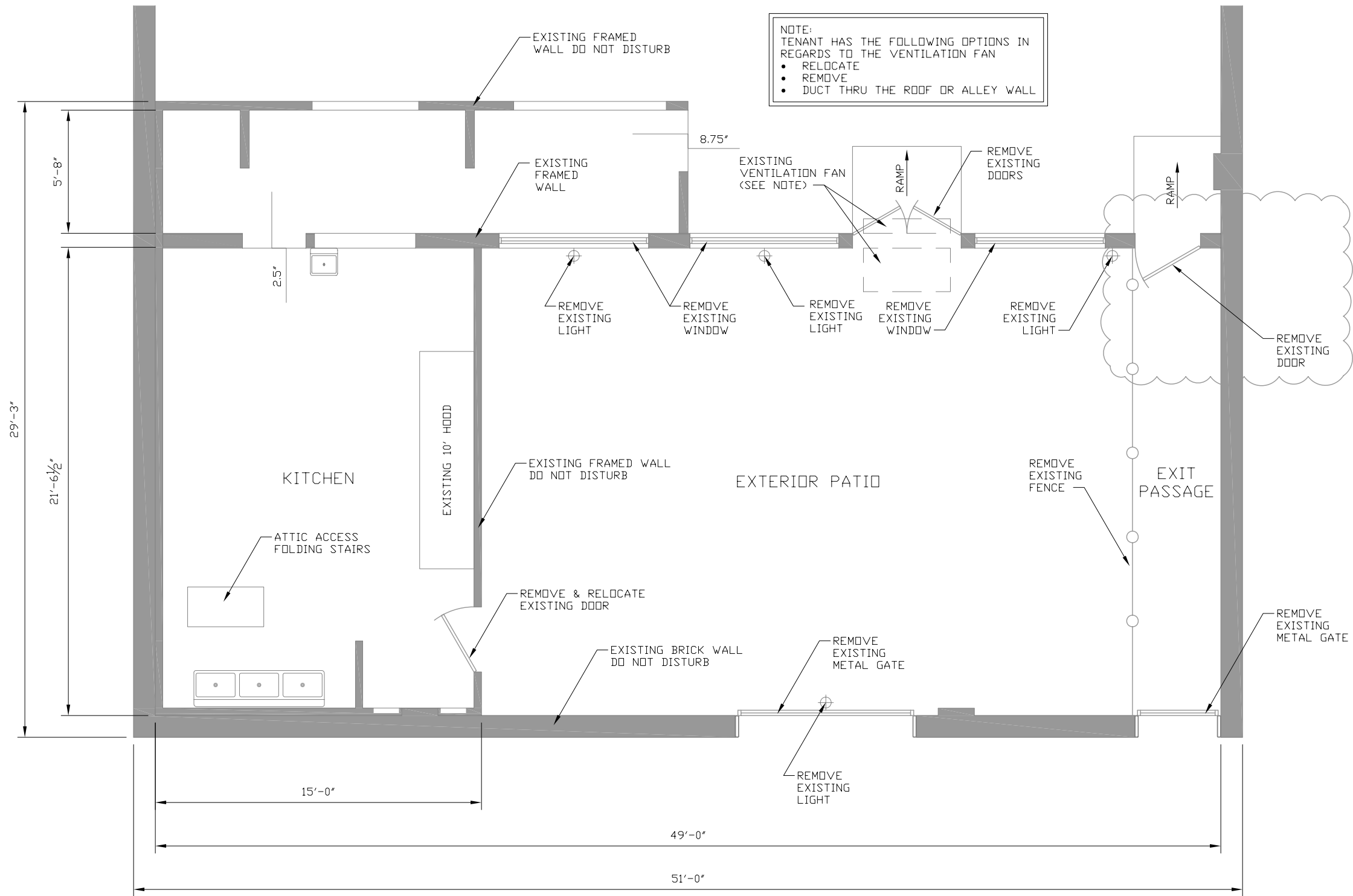
Approved:

Proj. No. 2013.049

Sheet No:

CVR

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 Plotted at: Jan 22, 2014 - 11:28am



NOTE:  
 TENANT HAS THE FOLLOWING OPTIONS IN  
 REGARDS TO THE VENTILATION FAN  
 • RELOCATE  
 • REMOVE  
 • DUCT THRU THE ROOF OR ALLEY WALL

**1 DEMOLITION PLAN**  
 Scale: 3/16" = 1'-0"

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 CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT  
 17 West 5th Avenue Emporia, KS 66801  
 620.842.6261 FAX 620.843.6261

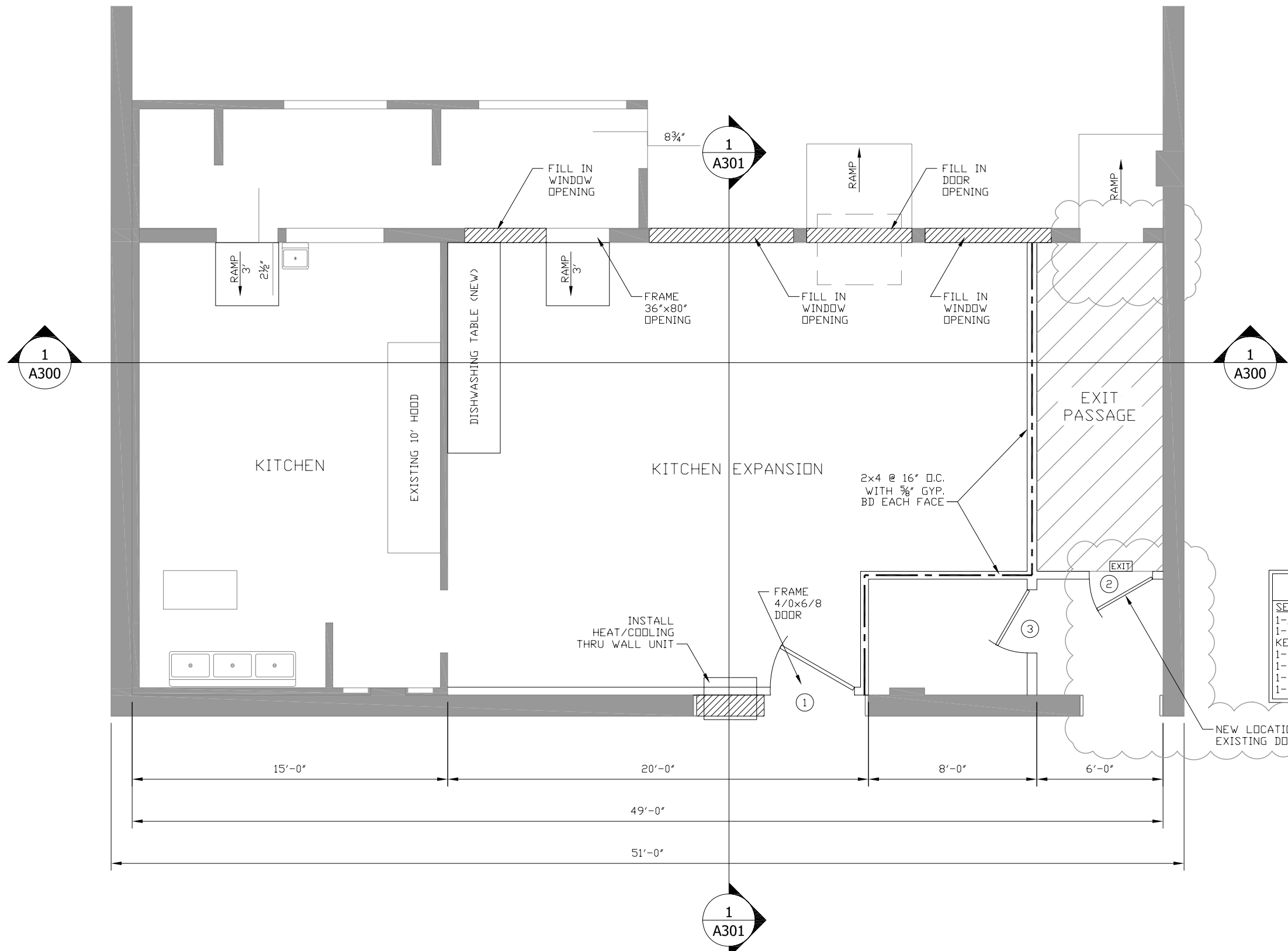


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**KITCHEN EXPANSION**  
**707 COMMERCIAL STREET**  
**EMPORIA, KANSAS**

Date: 01/08/14  
 Designed: DWO  
 Drawn: KHG  
 Checked: DWO  
 Approved:  
 Proj. No. 2013.049  
 Sheet No:

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**LEGEND:**

	1-HOUR FIRE RATED WALL PER U.L. DESIGN # U305
	1-HOUR FIRE RATED CEILING

**NOTE:**

- ELECTRICAL LAYOUT AND INSTALLATION SHALL BE A TENANT FINISH.
- MECHANICAL LAYOUT AND INSTALLATION SHALL BE A TENANT FINISH.
- PLUMBING LAYOUT AND INSTALLATION SHALL BE A TENANT FINISH.

**DOOR SCHEDULE**

NO.	DOOR MATERIAL	DOOR SIZE (6'-8" x 1 3/4")	HDWE GROUP
1	METAL - INSULATED	EXT 4-0	1
2	METAL - INSULATED	EXT 3-0	2
3	METAL - INSULATED	EXT 3-0	1

**HARDWARE SCHEDULE**

SET NO. 1	SET NO. 2
1-1/2 PR BUTT HINGES	1-1/2 PR BUTT HINGES
1-LEVER HANDLE LOCK SET, KEY ENTRY FUNCTION	1-CROSS BAR EXIT DEVICE W/ EXTERIOR LEVER HANDLE, & KEYED LOCK CYLINDER
1-DEAD BOLT	1-PKG WEATHERSTRIPPING
1-PKG WEATHERSTRIPPING	1-CLOSER
1-WALL STOP	1-LOW PROFILE THRESHOLD
1-LOW PROFILE THRESHOLD	

**1 PROPOSED PARTIAL PLAN**  
 Scale: 3/16" = 1'-0"

CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.  
 ONE INGLEWOOD - PLANNING - CONSTRUCTION MANAGEMENT  
 17 West 5th Avenue, Emporia, KS 66801  
 620.682.6621 FAX 620.682.6621

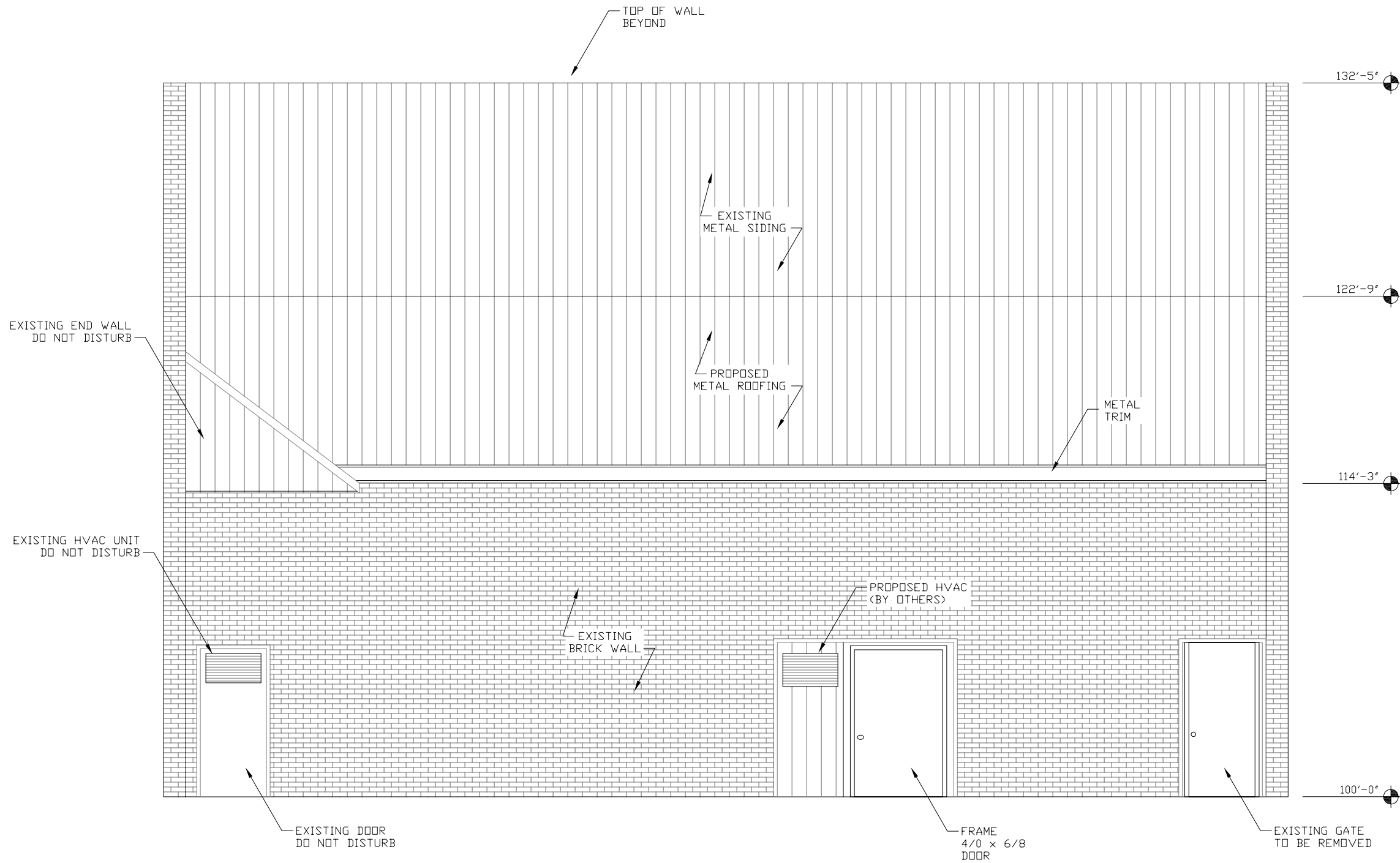


NO.	DATE	BY	APP.	REVISIONS
1	01/22/14			CITY OF EMPORIA CODE SERVICES REVIEW COMMENTS
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**KITCHEN EXPANSION**  
**707 COMMERCIAL STREET**  
**EMPORIA, KANSAS**

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**1 WEST ELEVATION**  
 Scale: 3/16" = 1'-0"

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 17 West 5th Avenue - Emporia, KS 66801  
 620.842.6821 FAX 620.843.6821



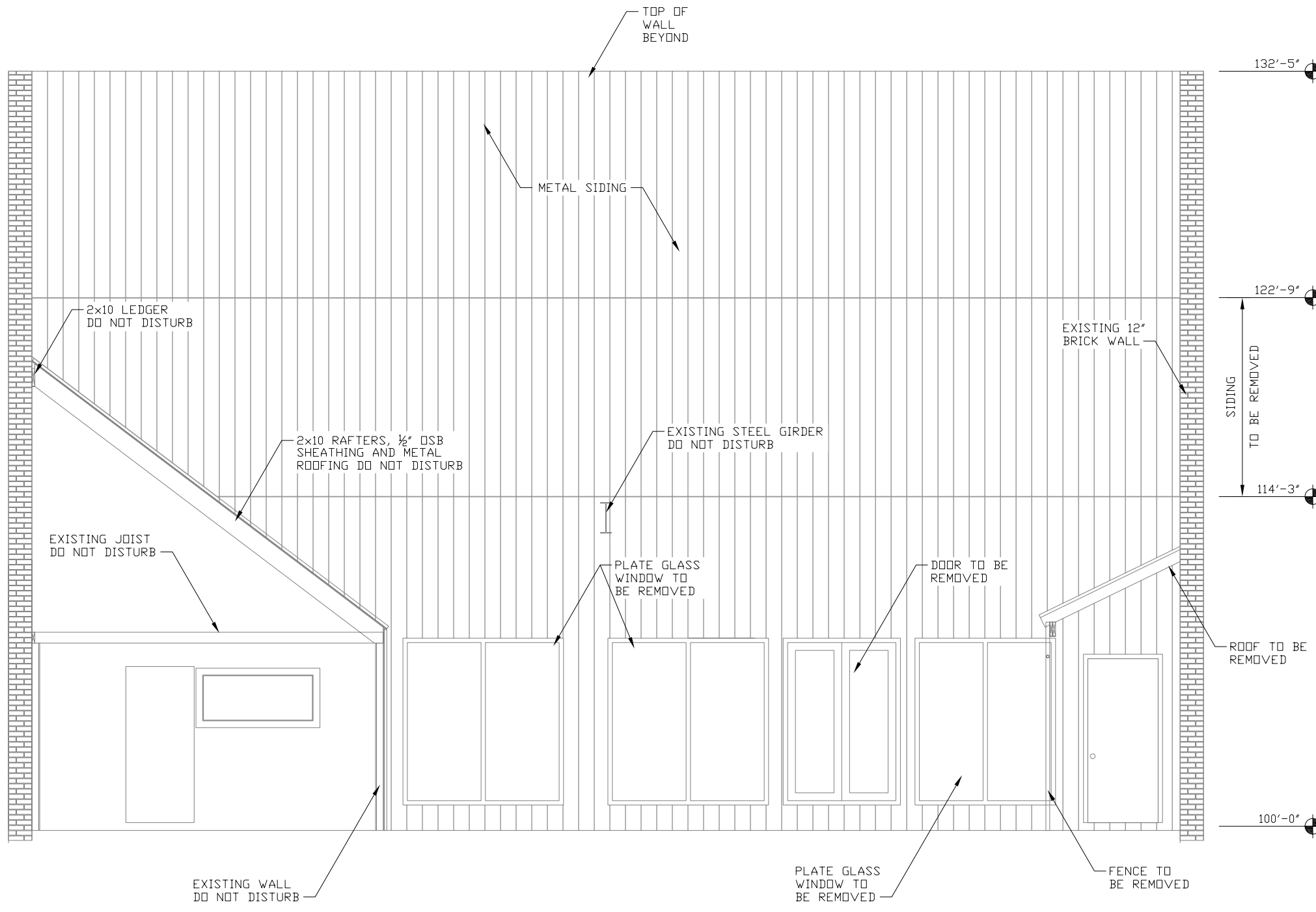
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**KITCHEN REMODELING**  
**707 COMMERCIAL STREET**  
**EMPORIA, KANSAS**

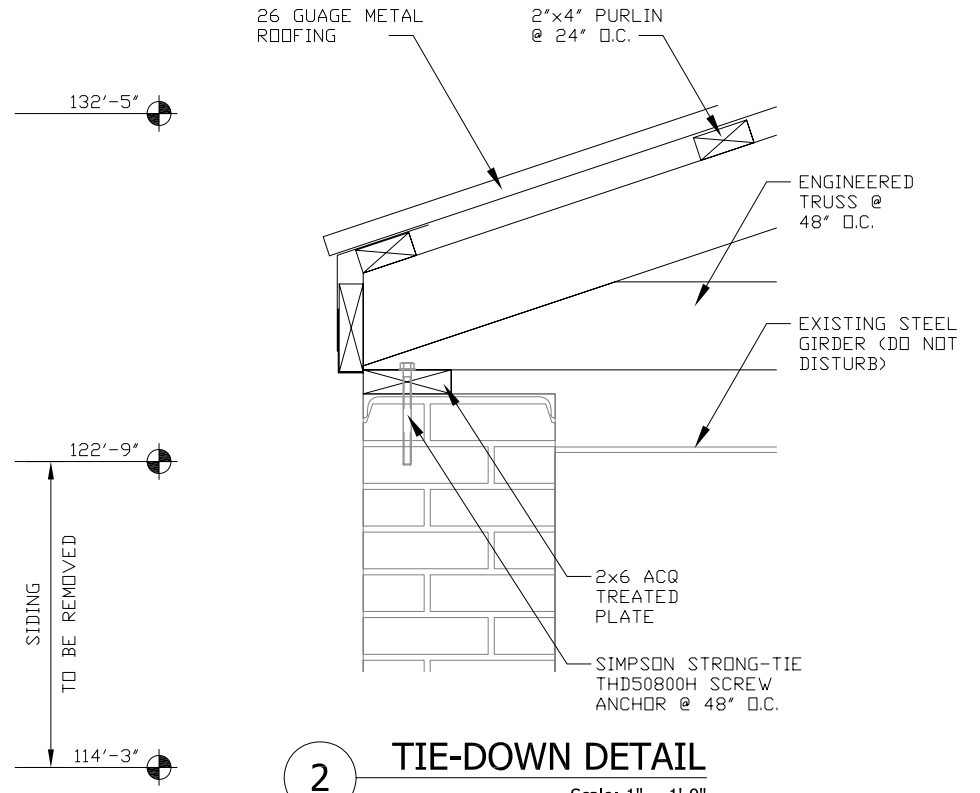
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 Sheet No:

A200

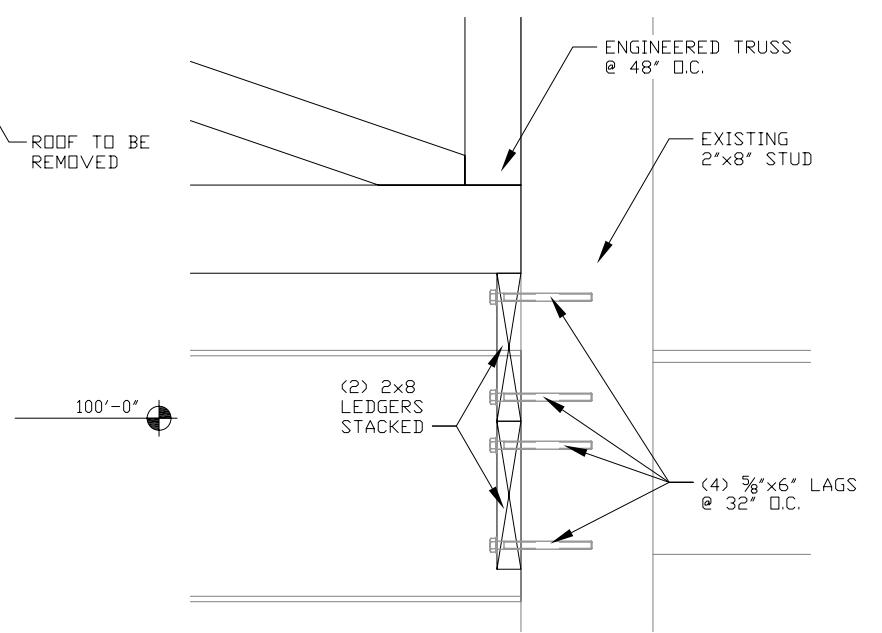
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**1 SECTION A-A**  
 Scale: 3/16" = 1'-0"



**2 TIE-DOWN DETAIL**  
 Scale: 1" = 1'-0"



**3 BEARING DETAIL**  
 Scale: 1" = 1'-0"

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 17 West 5th Avenue, Emporia, KS 66801  
 620.842.6821 FAX 620.842.6821

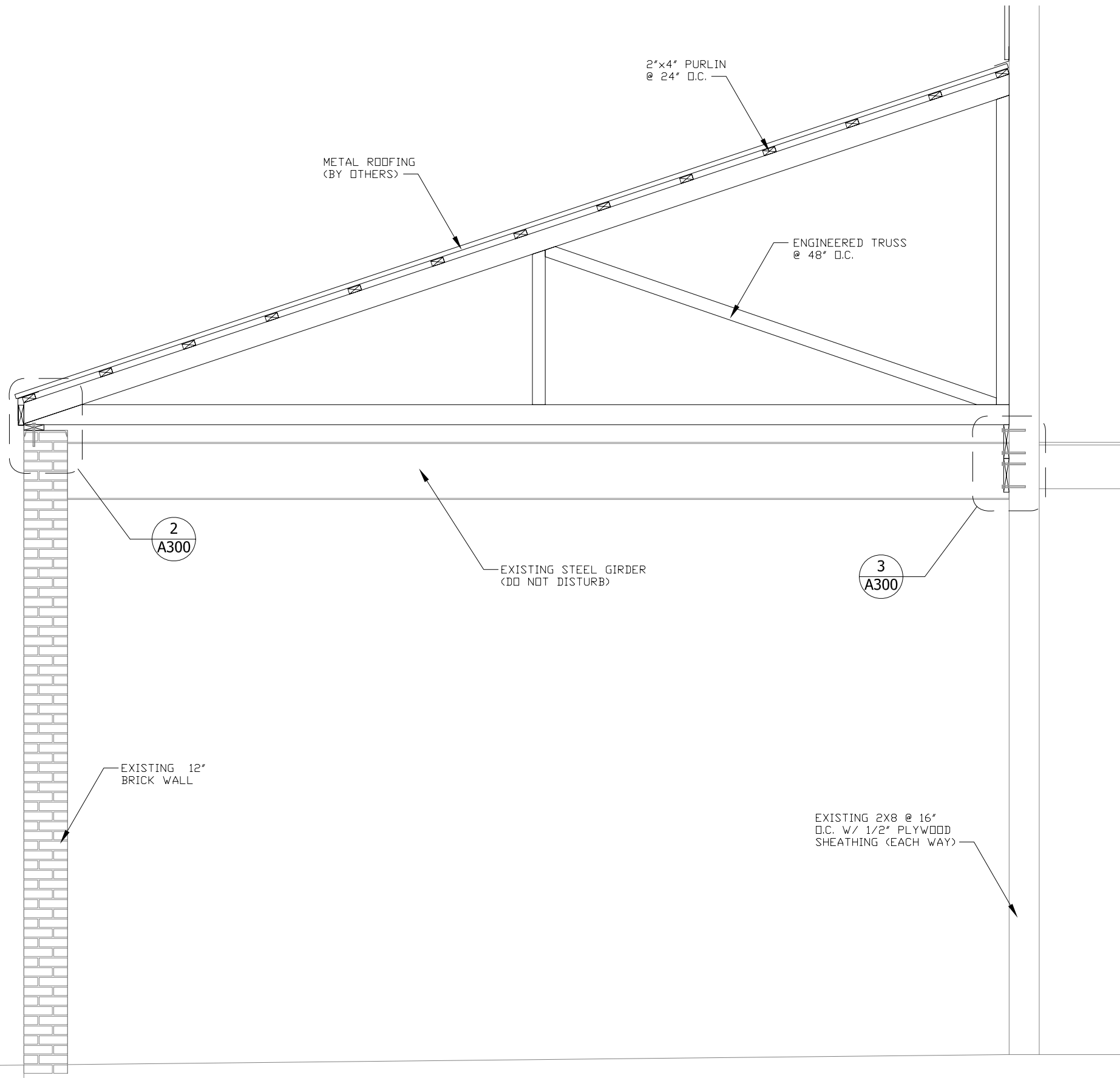


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KITCHEN EXPANSION  
 707 COMMERCIAL STREET  
 EMPORIA, KANSAS

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**ROUGH CARPENTRY:**

1. ALL STRUCTURAL LUMBER SHALL BE S4S (OR BETTER) NO. 1/2 SPRUCE/PINE/FIR (SPF) WITH A MAXIMUM MOISTURE CONTENT OF NINETEEN (19) PERCENT.
2. ALL NON-STRUCTURAL LUMBER SHALL BE NO. 2 SPRUCE/PINE/FIR (SPF) (OR BETTER).
3. ALL MATERIAL IN CONTACT WITH EARTH OR CONCRETE SHALL BE ACQ TREATED (OR EQUAL).
4. ALL WOOD STRUCTURAL PANELS SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION (APA) AND SHALL MEET THE REQUIREMENTS OF PS-1 OR PS-2, RESPECTIVELY, UNLESS NOTED OTHERWISE ON THE DRAWINGS. WALL PANELS TO BE USED ON THE EXTERIOR SHALL BE COMPATIBLE WITH THE ARCHITECTURAL EXTERIOR FINISH SYSTEM.
5. ~~ALL LAMINATED MEMBERS (MICROLAM, LAMINATED VENEER LUMBER, OR PARALLEL STRAND LUMBER) SHALL BE MANUFACTURED TO THE FOLLOWING MINIMUM PROPERTIES:~~
  - ~~A. ALLOWABLE BENDING STRESS = 2,750 PSI~~
  - ~~B. ALLOWABLE SHEAR STRESS = 205 PSI~~
  - ~~C. MODULUS OF ELASTICITY = 1,900,000 PSI~~
6. EXTERIOR STRUCTURAL WALL SHEATHING OVER WOOD STUDS SHALL BE 5/8" THICK, RATED FOR 250 LB/FT IN PLANE SHEAR, AND SHALL BE EITHER EXTERIOR GYPSUM SHEATHING OR ORIENTED STRAND BOARD (OSB). PROVIDE 1/8" GAP AROUND PANEL EDGES FOR THERMAL EXPANSION.
7. ALL BOLTS FOR CONSTRUCTION SHALL BE ASTM A307, GRADE A, OR ASTM A36 OR AS SPECIFIED.
8. ALL NAILS SHALL BE COMMON WIRE NAILS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
9. ALL METAL FRAMING ACCESSORIES ARE STANDARDS OF SIMPSON STRONG-TIE AND ARE TO BE ATTACHED AS PER THE SIMPSON STRONG-TIE RECOMMENDATIONS.
10. HEADERS, BEAMS, AND LINTELS SHALL BE CONSTRUCTED AS PER THE DRAWINGS WITH A MINIMUM OF TWO (2) BEARING STUDS AND TWO (2) FULL-HEIGHT STUDS AT ALL OPENINGS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
11. STRUCTURAL PANELS SHALL BE PLACED WITH THE FACE GRAIN PERPENDICULAR TO THE SUPPORTING MEMBERS WITH THE END JOINTS STAGGERED FOUR (4) FEET, TYPICALLY.
12. THE QUALITY AND SIZE OF FASTENERS SHALL BE IN ACCORDANCE WITH THE CODE OF RECORD, UNLESS OTHERWISE NOTED ON THE DRAWINGS
13. ~~UNLESS NOTED OTHERWISE, FRAMING MEMBERS COMPRISED OF MULTIPLE LVLS SHALL BE ATTACHED TO ONE ANOTHER ALONG THEIR ENTIRE LENGTH WITH 2 ROWS OF SCREWS AT 16" O.C. FROM EACH SIDE. SCREWS SHALL PENETRATE ALL MEMBERS, WITH MINIMUM EMBED OF 1 1/4"~~
14. ~~WALL FRAMING SHALL BE PER THE STEEL STUD MANUFACTURERS ASSOCIATION (SSMA).~~

**1 SECTION B-B**  
 Scale: 3/8" = 1'-0"

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 CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT  
 17 West 5th Avenue, Emporia, KS 66801  
 620.842.6821 FAX 620.842.6821

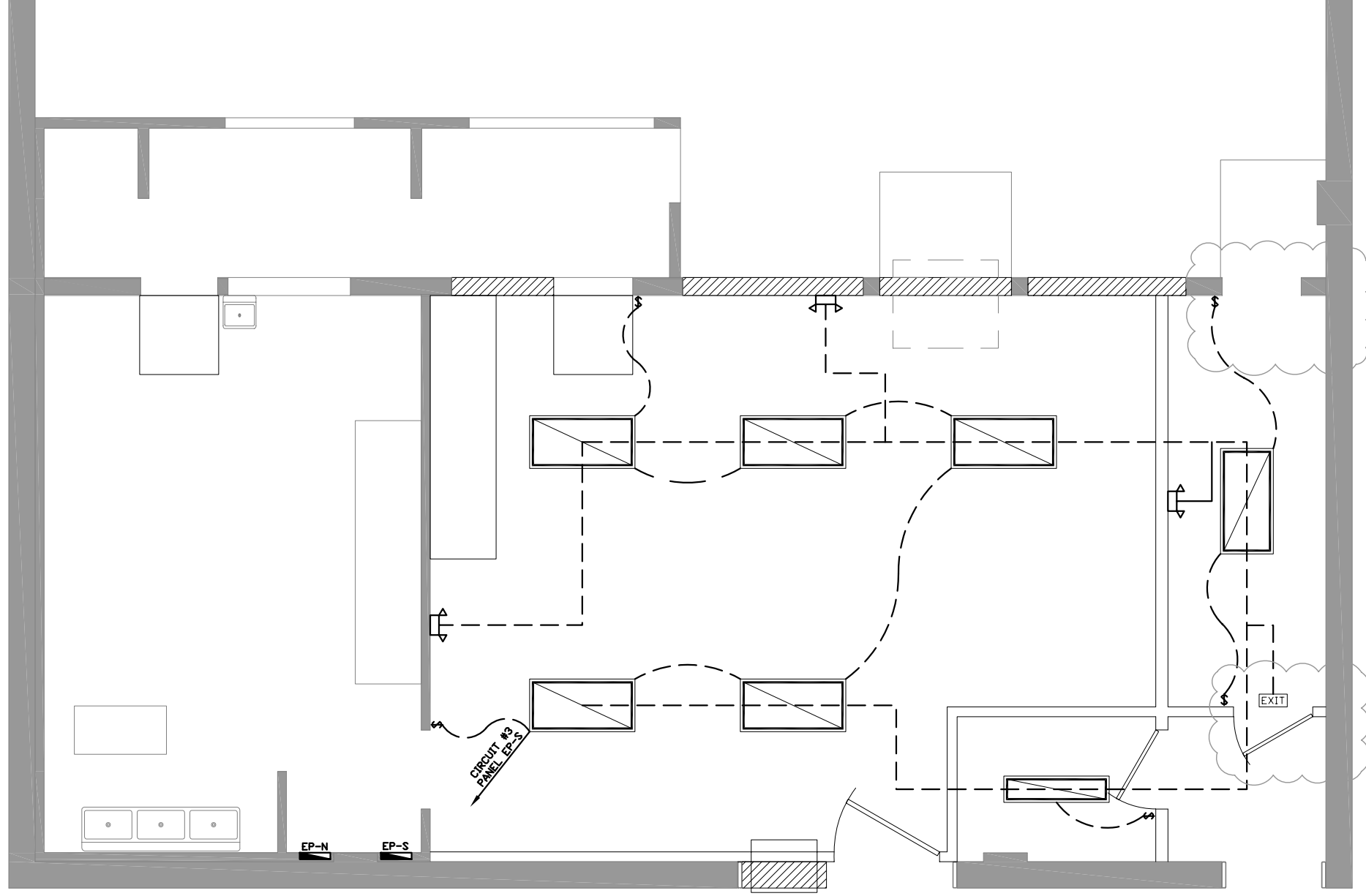
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Drawn:	KHG
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Sheet No:	A301

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**1** PROPOSED LIGHTING PLAN  
 Scale: 3/16 = 1'-0"

**KITCHEN EXPANSION  
 707 COMMERCIAL STREET  
 EMPORIA, KANSAS**

Date: 01/08/14  
 Designed: DWO  
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 Proj. No. 2013.049  
 Sheet No:

MEP 100

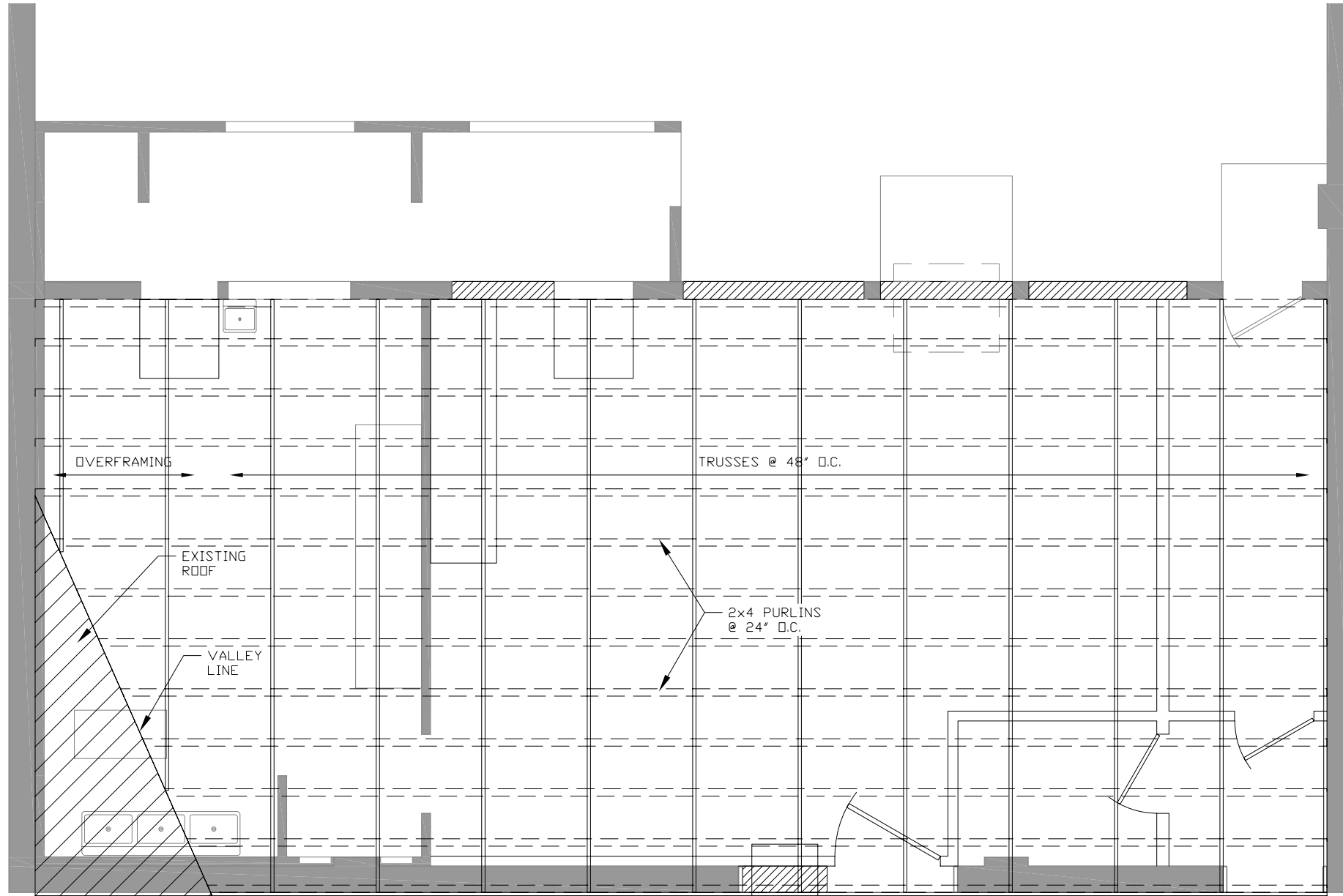
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CITY OF EMPORIA CODE SERVICES REVIEW COMMENTS



CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.  
 CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT  
 17 West 5th Avenue Emporia, KS 66801  
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**1** PROPOSED FRAMING PLAN  
 Scale: 3/16 = 1'-0"

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 620.842.6621 FAX 620.842.6621



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KITCHEN EXPANSION  
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S100