

PROJECT NARRATIVE

1	PROJECT CONSTRUCTION PURPOSE	EXISTING CONSTRUCTION
2	REASON FOR SUBMITTAL	NEW TENANT CONSTRUCTION
3	CODES USED	2006 INTERNATIONAL BUILDING CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2003 UNIFORM MECHANICAL CODE 1997 UNIFORM PLUMBING CODE 2005 NATIONAL ELECTRIC CODE 1997 UNIFORM CODE FOR BUILDING CONSERVATION KANSAS FIRE PREVENTION CODE
4	BUILDING LOCATION	717 COMMERCIAL EMPORIA, LYON COUNTY KANSAS 66801
5	OWNER	MULREADY'S 717 COMMERCIAL EMPORIA, KANSAS 66801
6	DATE DEVELOPED	1/22/13
7	DESIGNER	BEN MOORE ARCHITECT 1501 H AVE COUNCIL GROVE, KS 66846 785-477-3379
8	DESIGNER SEAL	RA ON DRAWING
9	NAME OF RESPONDING FIRE DEPARTMENT	EMPORIA FIRE DEPARTMENT
10	NAME OF LOCAL BUILDING INSPECTION DEPARTMENT	EMPORIA CODE SERVICES
11	EACH OCCUPANCY GROUP AND TYPE	A-2 PER 2006 IBC 303.1
12	TYPE OF CONSTRUCTION	III-B
13	STRUCTURAL CODE REQUIREMENTS	
A	TOTAL FLOOR AREA OF EACH OCCUPANCY BOTH ACTUAL AND ALLOWABLE	
B	HEIGHT AND AREA LIMITATIONS BOTH ACTUAL AND ALLOWABLE	
C	STRUCTURAL FIRE RATINGS BOTH ACTUAL AND ALLOWABLE	
14	IDENTIFICATION OF ACTIVE FIRE ALARM SYSTEMS AND LOCATIONS	NONE
A	AUTOMATIC SUPPRESSION SYSTEM	NONE
B	FIRE ALARM SIGNALING SYSTEM	NONE
C	EMERGENCY LIGHTING AND DP POWER	PROVIDED
D	SMOKE CONTROL SYSTEM	NONE
15	WATER SUPPLY REQUIREMENTS OF THE FACILITY FOR FIRE SUPPRESSION	N/A
16	ALTERNATIVE METHODS OF DESIGN OR CONSTRUCTION OR BOTH	NONE

CODEFOOTPRINT

1	GRAPHIC BAR SCALE	PROVIDED
2	NORTH DIRECTIONAL ARROW	PROVIDED
3	COMPLETE BUILDING FLOOR PLAN WITH A CLEAR IDENTIFICATION OF NEW, REMODELED AND EXISTING PORTIONS	PROVIDED
4	IDENTIFICATION OF ALL PERMANENT PARTITIONS TALLER THAN 6"	PROVIDED
5	A LABEL WITH PLAIN TEXT, KEYNOTES OR LEGENDS FOR EACH ROOM AND SPACE	PROVIDED
6	OCCUPANT LOAD OF ASSEMBLY ROOMS AND TOTAL OCCUPANT FOR EACH FLOOR LEVEL	PROVIDED
7	IDENTIFICATION OF OPENINGS AND RATINGS OF STAIR AND SHAFT ENCLOSURES	PROVIDED
8	IDENTIFICATION OF OPENINGS AND RATINGS OF CORRIDORS AND OPENINGS	PROVIDED
9	IDENTIFICATION OF OCCUPANCY AND AREA SEPERATION	PROVIDED
10	IDENTIFICATION OF ALL HORIZONTAL EXIT ARRANGEMENTS, EXIT PASSAGEWAYS, AND SMOKE COMPARTMENTS	PROVIDED
11	IDENTIFICATION OF ALL REQUIRED EXTERIOR EXITS AND EXIT CAPACITY	PROVIDED
12	THE LOCATION OF THE CENTRAL FIRE ALARM CONTROL PANEL ANY REMOTE ANNUNCIATOR PANELS	EXISTING
13	LOCATION OF EACH FIRE DEPARTMENT SUPPLY CONNECTION	EXISTING
14	LOCATION OF FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS	EXISTING
15	DISTANCE TO PROPERTY LINES AND EXPOSURES	EXISTING
16	IDENTIFICATION OF ANY SPECIAL HAZARDS OR CONDITIONS	N/A
17	LOCATION OF ANY ANTICIPATED FUTURE ADDITIONS	N/A

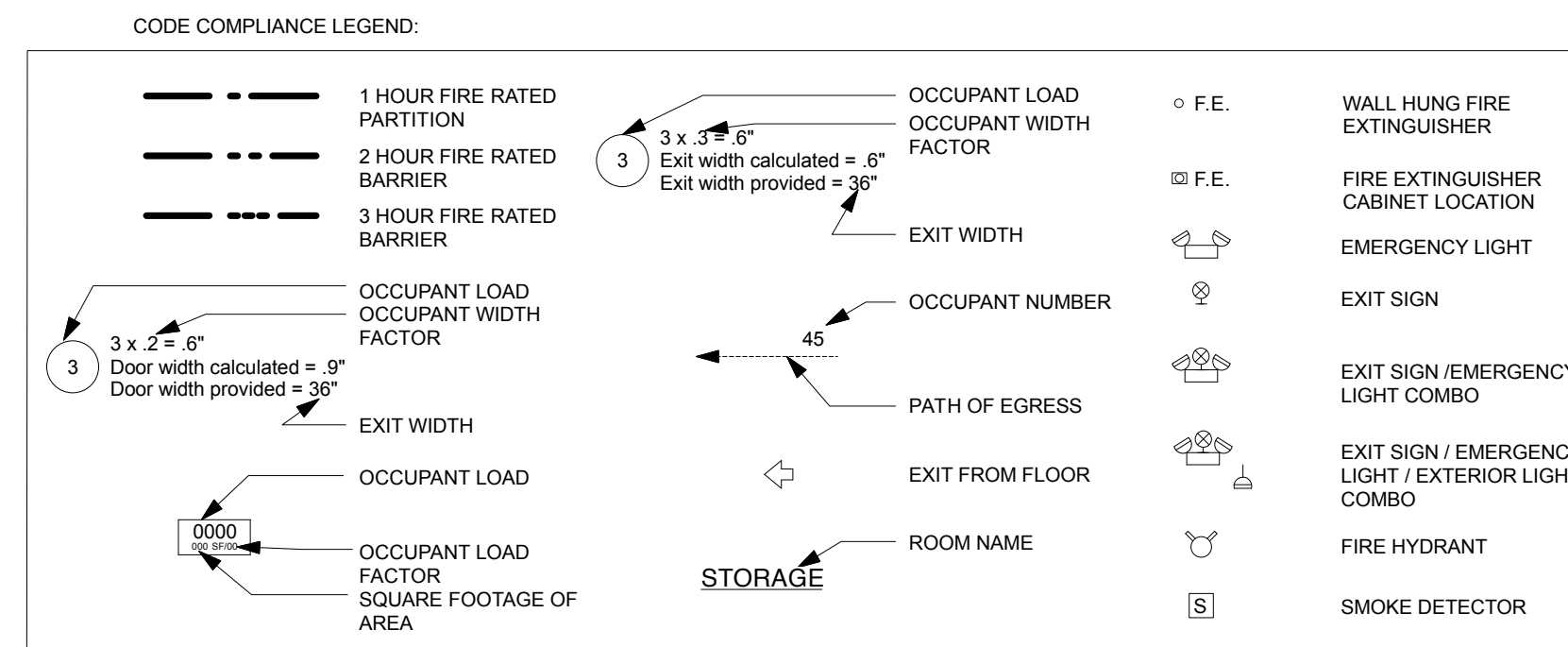
PLUMBING FIXTURE COUNT

M OCCUPANCY	72 OCCUPANTS
PER 1997 UPC - TABLE 4-1: RESTAURANTS, PUBS AND LOUNGES	
SUBTOTALS	
PER 1997 UPC - 413.6 - OCCUPANT LOAD IS LESS THAN 100 COMBINED EMPLOYEE AND CUSTOMER FACILITIES PROVIDED	
PER 1997 UPC TABLE 4-1: MEN - WC: 1 PER 50 36/50 = .72 WC REQ'D	
PER 1997 UPC TABLE 4-1: MEN - LAVATORIES: 1 PER 150 36/150 = .24 LAV REQ'D	
PER 1997 UPC TABLE 4-1: WOMEN - WC: 1 PER 50 36/50 = .72 WC REQ'D	
PER 1997 UPC TABLE 4-1: WOMEN - LAVATORIES: 1 PER 150 36/150 = .24 LAV REQ'D	
TOTALS	
MEN - 1 WC PROVIDED	
MEN - 1 LAV PROVIDED	
WOMEN - 1 WC PROVIDED	
WOMEN - 1 LAV PROVIDED	
1 SERVICE SINK - PROVIDED - EXISTING	
PER 1997 UPC - TABLE 4-1 - DRINKING FOUNTAINS ARE NOT REQUIRED	

GENERAL CONTRACTOR NOTES:

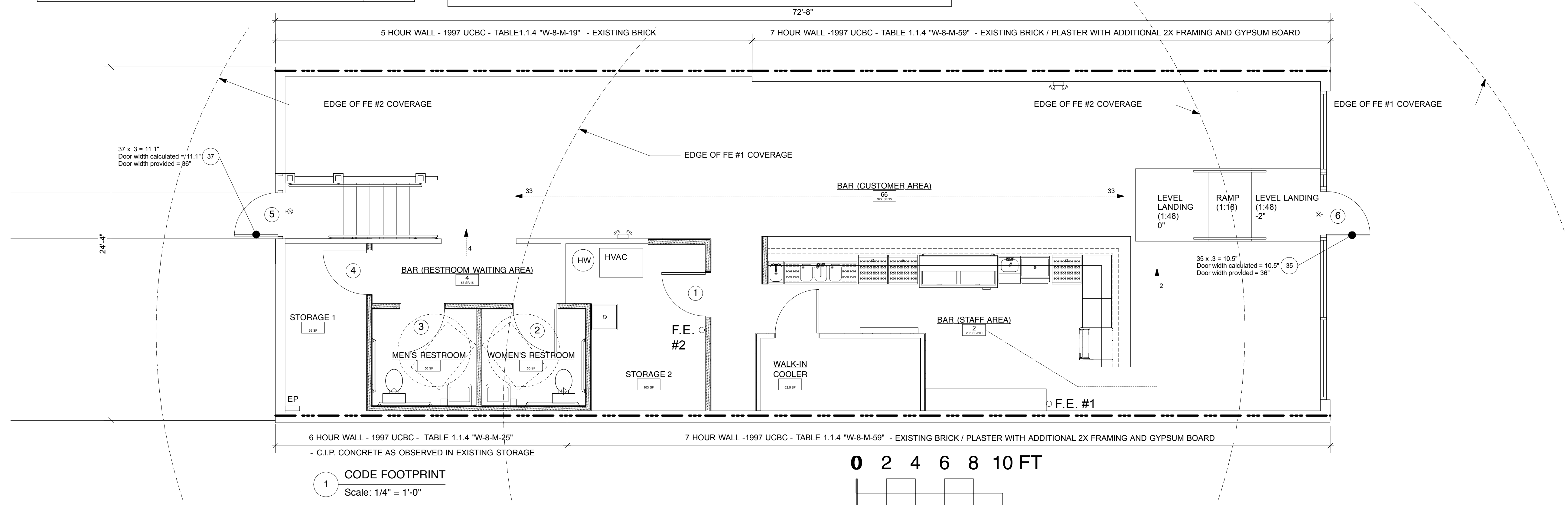
- CONTRACTOR IS RESPONSIBLE TO CALL FOR INSPECTIONS, OBTAIN PERMITS AND FINAL CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO COORDINATE WITH OWNER FOR WORKING ON SITE RULES AND REGULATIONS.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL PROVIDE INSURANCE CERTIFICATES ACCEPTABLE TO OWNER.
- PRIOR TO SUBMITTING BID, CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SPACE, ARCHITECTURAL PLANS AND IF THERE IS A DISCREPANCY - AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- CONTRACTOR TO COORDINATE WITH OWNER FOR CONNECTION TO BUILDING HVAC SYSTEM, ELECTRICAL SERVICE, TELEPHONE AND DATA SERVICE.
- DAMAGES: PROMPTLY REPAIR DAMAGES TO EXISTING CONSTRUCTION TO REMAIN CAUSED BY DEMOLITION WORK.
- CLEAN OUT: CONTRACTOR SHALL REMOVE ALL OBJECTS FROM SITE AFTER NEW CONSTRUCTION IS COMPLETED.
- PROTECTION: CONTRACTOR SHALL PROVIDE FOR PROPER BARRICADES, LIGHTING SIGNAGE TO PROTECT THE EXISTING BUILDING, PARKING LOT, PUBLIC AND WORKERS. CONTRACTOR TO PROVIDE "SAFE" ACCESS TO SPACES AT ALL TIMES.
- CONTRACTOR AT CLOSE OUT IS TO MAKE SURE ALL WARRANTIES ARE SUBMITTED TO BUILDING OWNER.
- CONTRACTOR TO NOT INTERFERE WITH ADJACENT TENANTS, NO DEBRIS TO INTERFERE WITH THE PUBLIC - CHECK WITH BUILDING OWNER FOR LOCATION FOR TRASH DUMPSTER.

FIRE SAFETY PROVISIONS		
ILLUMINATED EXIT LIGHTS		PROVIDED
FIRE EXTINGUISHERS		PROVIDED
FIRE SUPPRESSION SYSTEM		N/A
ACCESSIBILITY PROVISIONS		
EXISTING ADA COMPLIANT PARKING		N/A
NEW ADA COMPLIANT RESTROOMS		N/A
BUILDING CODE STANDARDS		
PER 2006 INTERNATIONAL BUILDING CODE		
OCCUPANCY TYPE	A-2	
CONSTRUCTION TYPE	III-B	
BASIC ALLOWABLE FLOOR AREA PER FLOOR (SF)		
ALLOWABLE STORIES	2	1
FRONTAGE INCREASE (%)	N/A	N/A
SPRINKLER INCREASE (%)	N/A	N/A
TOTAL ALLOWABLE FLOOR AREA (SF)	9,500	1,769
ALLOWABLE BUILDING HEIGHT	45 FEET	
ACTUAL BUILDING HEIGHT FROM ADJACENT GRADE	EXISTING	
SUBTOTAL ACTUAL FLOOR AREA	EXISTING	
TOTAL ACTUAL FLOOR AREA	EXISTING	
BUILDING RESISTIVE CONSTRUCTION REQUIREMENTS		
PER 2006 INTERNATIONAL BUILDING CODE TABLE 601		
STRUCTURAL FRAME	0	
EXTERIOR BEARING WALLS	2	
INTERIOR BEARING WALLS	0	
INTERIOR NON-BEARING WALLS	0	
FLOOR CONSTRUCTION	0	
ROOF CONSTRUCTION	0	
STAIR/MECHANICAL SHAFTS	0	
PER 2006 INTERNATIONAL BUILDING CODE TABLE 705.4		
PARTY WALL FIRE RESISTANCE RATING	3	

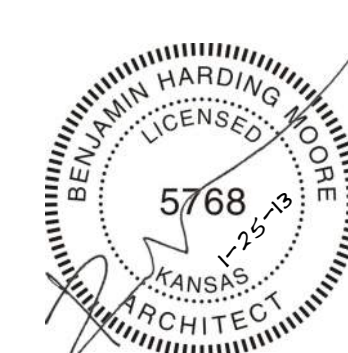


DRAWING INDEX

- A1 CODE COMPLIANCE FLOOR PLAN, INDEX TO DRAWINGS
- A2 FLOOR PLAN
- A3 REFLECTED CEILING PLAN & FINISH PLAN
- A4 WALL SECTIONS
- A5 WALL SECTIONS
- A6 INTERIOR ELEVATIONS, FINISH SCHEDULE
- A7 DOOR SCHEDULES, SPECS
- A8 SPECS
- A9 INTERIOR ELEVATIONS, EXTERIOR ELEVATIONS AND WINDOWS
- A10 KITCHEN EQUIPMENT SCHEDULE
- M100 MECHANICAL PLANS
- E100 ELECTRICAL PLANS
- P100 PLUMBING PLANS - WATER
- P200 PLUMBING PLANS - DRAINAGE

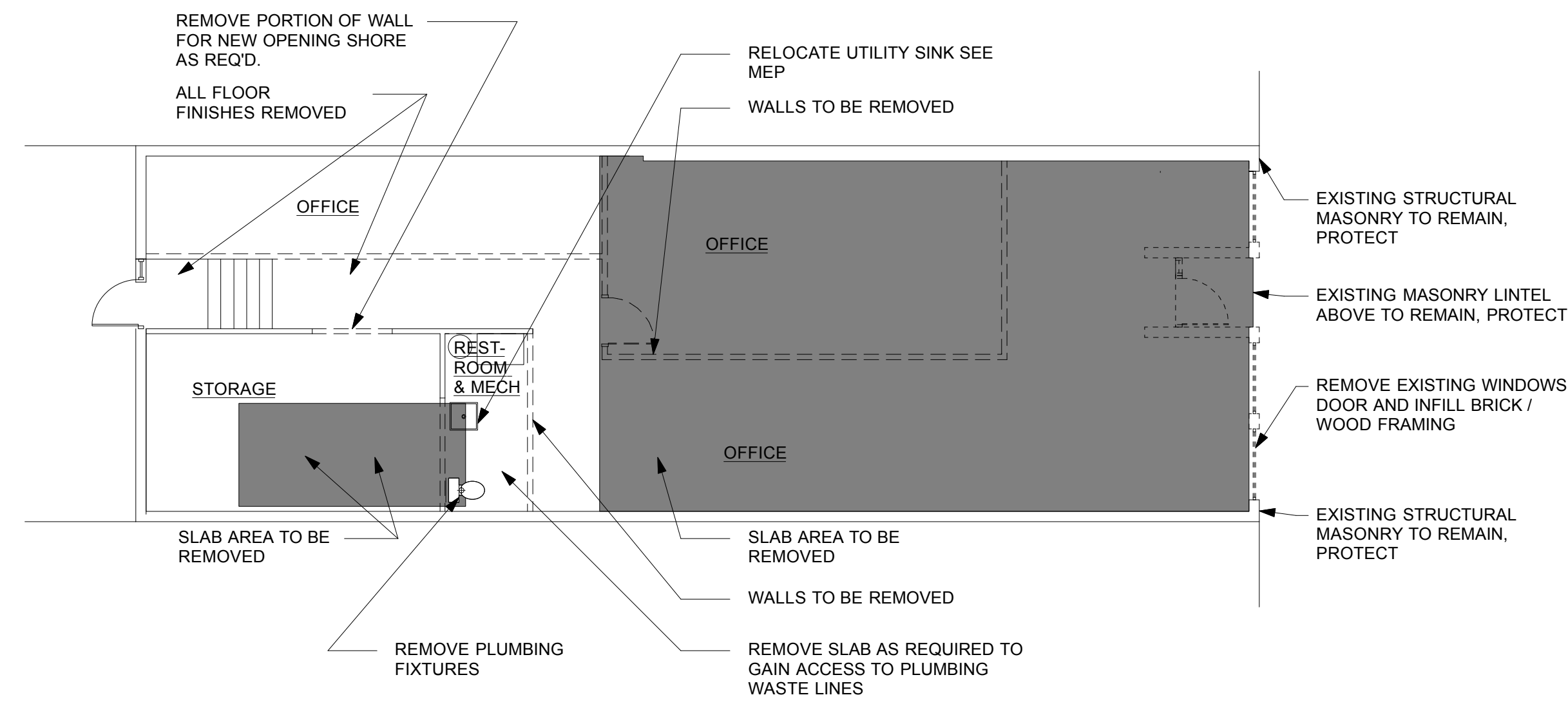


MULREADY'S
717 COMMERCIAL STREET
Emporia, Kansas

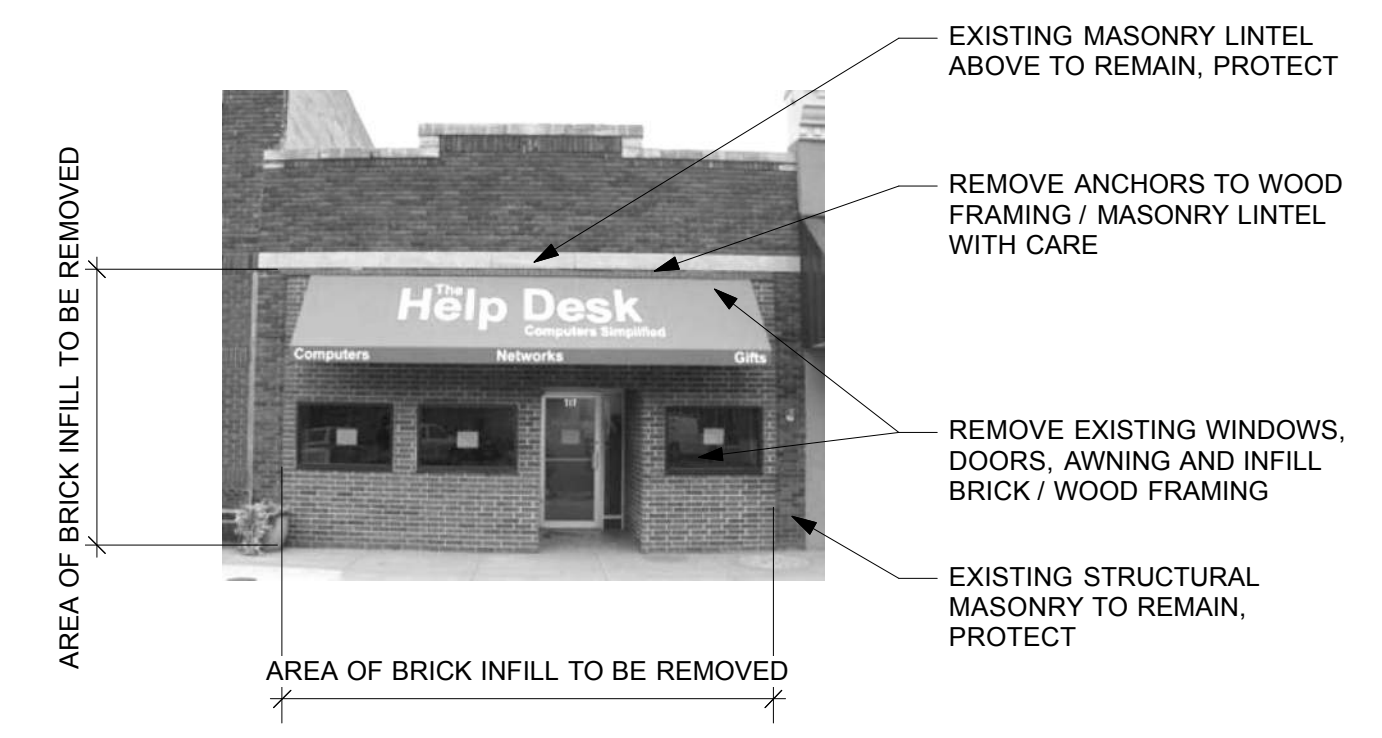


Ben Moore Studio
Architect
1501 H Avenue
Council Grove, KS 66846
785-477-3379
ben@benmoorestudio.com

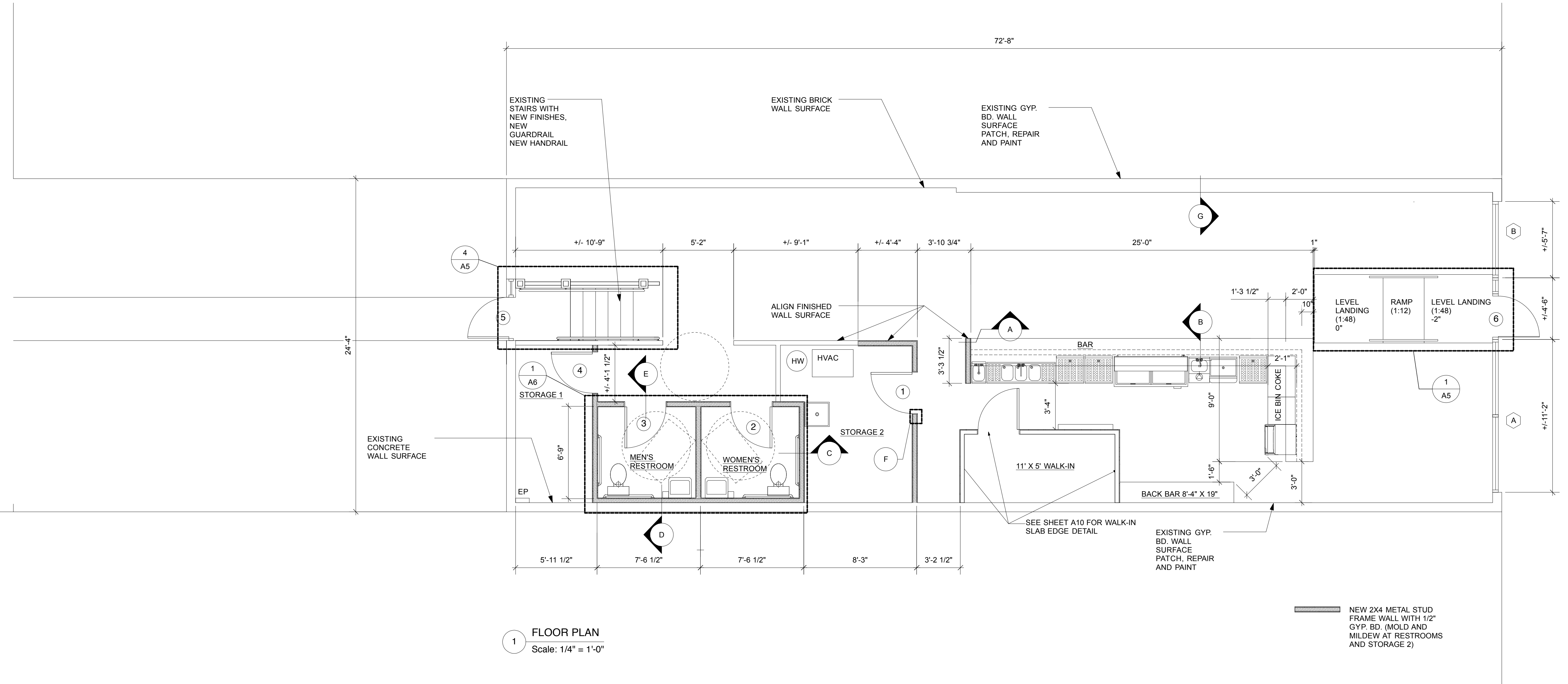
SHEET NAME
Code Plan
Issue: CD
Project #: 12-15
Filename: A1.mcd
Issue Date: 1/25/13
SHEET NUMBER
A1



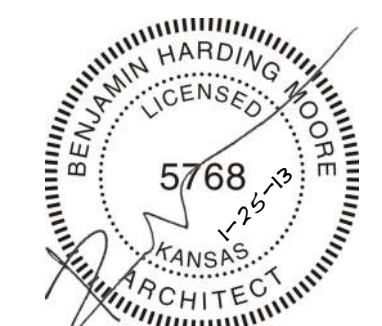
2 EXISTING PLAN & DEMO PLAN
Scale: 1/8" = 1'-0"



3 EXISTING PHOTO
N.T.S.

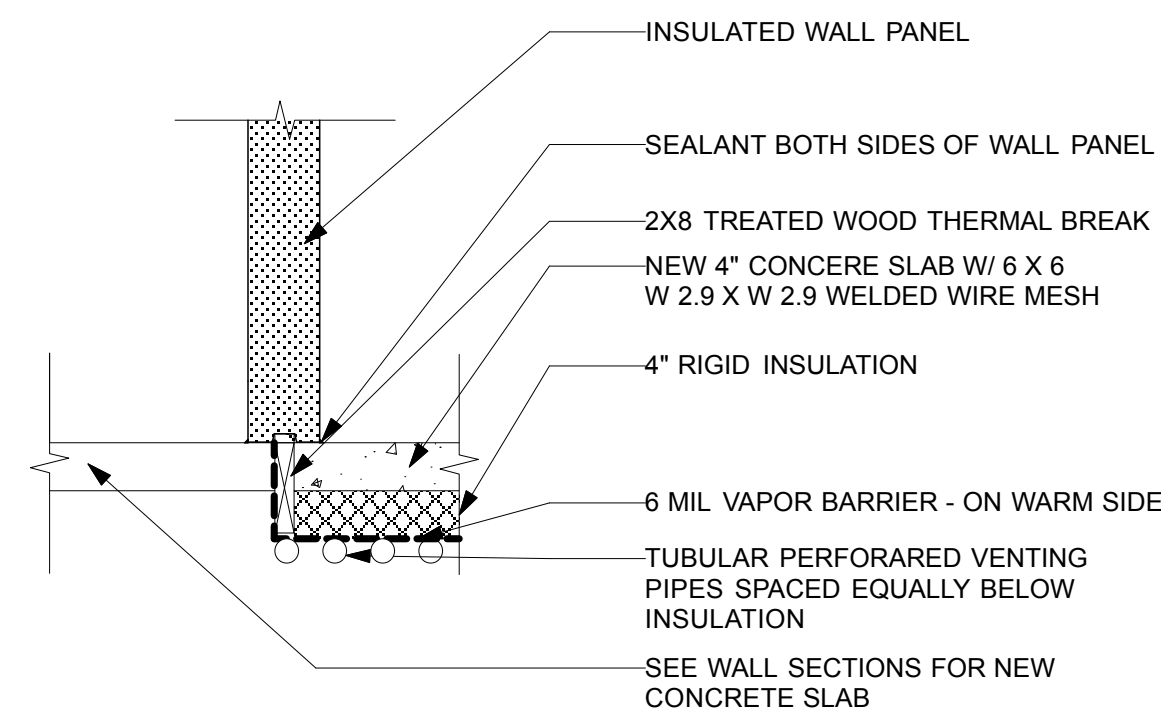


MULREADY'S
717 COMMERCIAL STREET
Emporia, Kansas

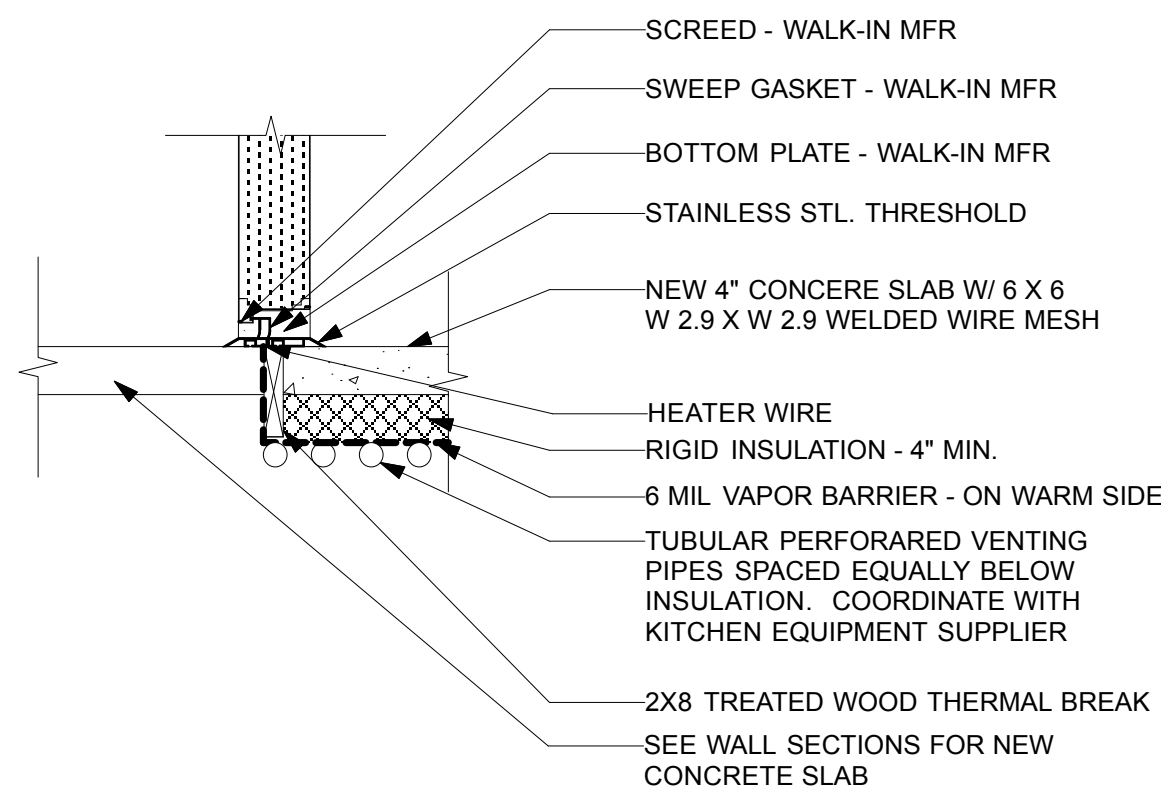


Ben Moore Studio
Architect
1501 H Avenue
Council Grove, KS 66846
785-477-3379
ben@benmoorestudio.com

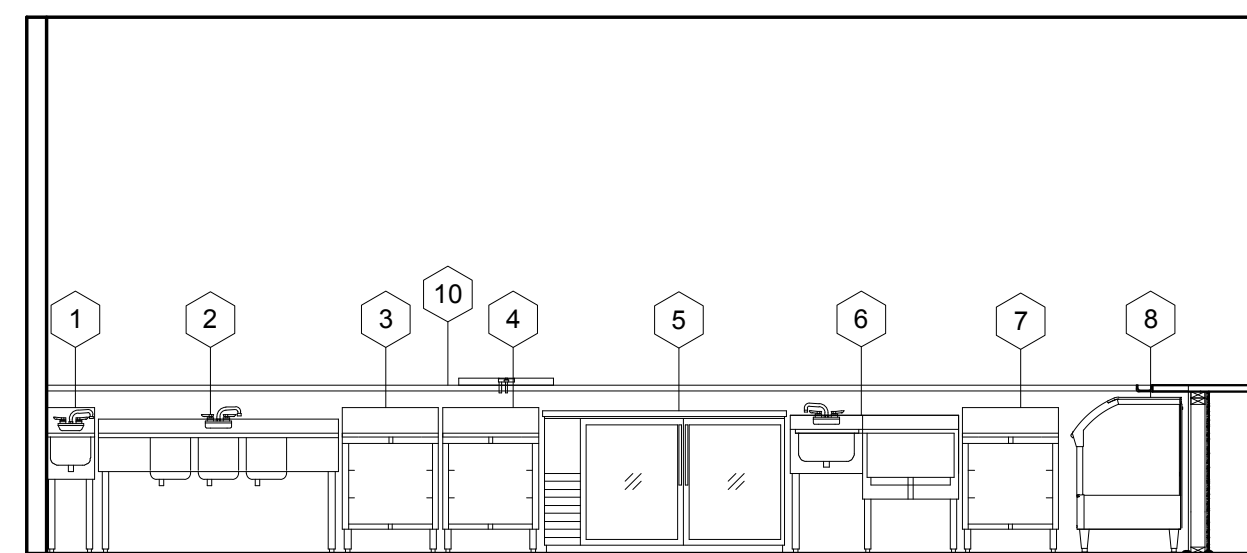
SHEET NAME
Floor Plan
Issue: CD
Project #: 12-15
Filename: A1.mcd
Issue Date: 1/25/13
SHEET NUMBER
A2



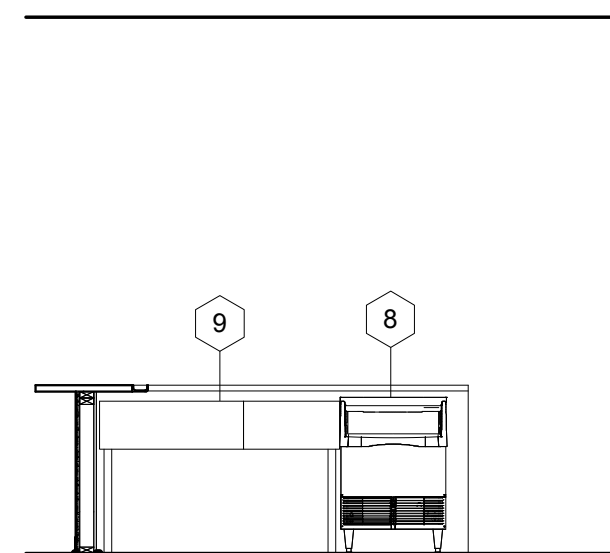
6 WALK-IN COOLER WALL DETAIL
Scale: 3/4" = 1'-0"



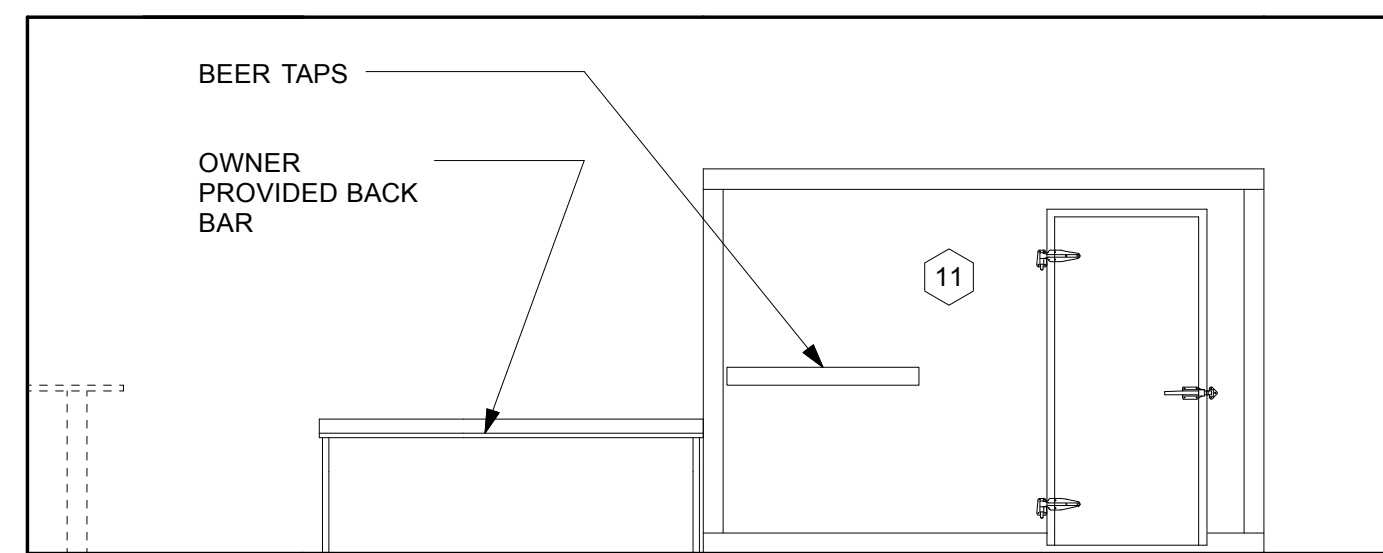
5 WALK-IN COOLER DOOR DETAIL
Scale: 3/4" = 1'-0"



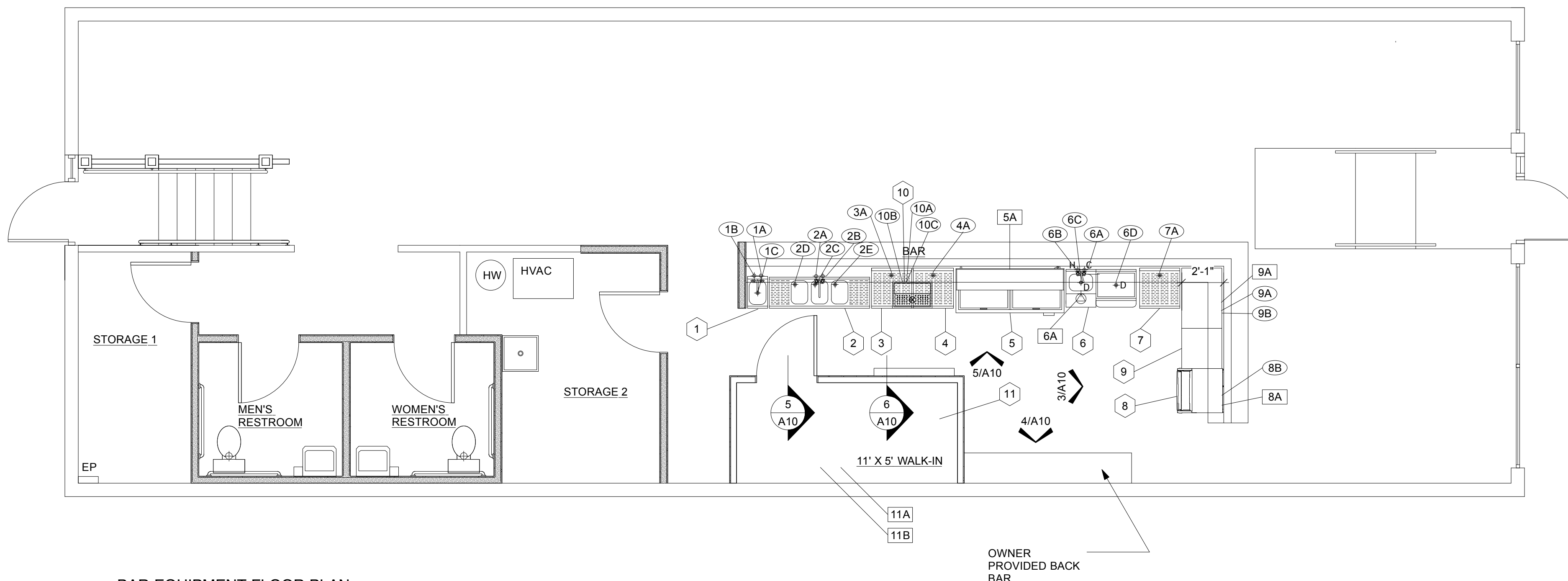
2 BAR INTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"



3 BAR INTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"



4 BAR INTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"



1 BAR EQUIPMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

ELECTRICAL SCHEDULE

5A	115/60/1, 8.6 A.,	D.R. 24" A.F.F.
6A	115/60/1, 8.6 A.,	D.R. 24" A.F.F.
8A	115/60/1, 15 A. MAX.	D.R. 24" A.F.F.
9A	115/60/1, 20 A.,	COORDINATE ELECT. LOCATION WITH MFR.
11A	115/60/1, 8.6 A.,	SEE MFR CUT SHEET FOR ELECT. LOCATION
11B	208/60/1, 8.6 A.,	UNIT ON ROOF - COORDINATE LOCATION

PLUMBING SCHEDULE

1A	1/2" C.W., S.O. 24" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
1B	1/2" H.W., S.O. 24" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
1C	1 1/2" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
2A	1/2" C.W., S.O. 24" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
2B	1/2" H.W., S.O. 24" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
2C	1 1/2" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
2D	1 1/2" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
2E	1 1/2" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
3A	1" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
4A	1" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
6A	1/2" H.W., S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
6B	1/2" C.W., S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
6C	1 1/2" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
6D	1 1/2" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
7A	1" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
8B	1" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
9A	1/2" C.W., S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
9B	1" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
10A	1/2" C.W., S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO FAUCET)
10B	1" WASTE, S.O. 20" A.F.F.	(PLUMB. CONTR. TO CONNECT TO DRAIN)
10C	DISPENSER: 12 BOTTON CONFIGURATION W/ 48" HOSE LENGTH	

EQUIPMENT SCHEDULE

1	HAND SINK - MFR: KROWNE MODEL # KR18-1C
2	BAR SINK - MFR: KROWNE MODEL # KR18-53C
3	GLASS STORAGE BIN - MFR: KROWNE MODEL # KR18-GS81
4	GLASS STORAGE BIN - MFR: KROWNE MODEL # KR18-GS81
5	UNDERBAR REFRIGERATOR - MFR: TRUE MODEL # TD-65-24
6	BAR SINK - MFR: KROWNE MODEL # TD-18-W42R
7	GLASS STORAGE BIN - MFR: KROWNE MODEL # KR18-GS81
8	ICE MACHINE - MFR: SCOTSMAN MODEL # CU3030
9	COKE EQUIPMENT - MFR: COKE - FOUNTAIN EQUIP-ICE TANNER-#2123
10	SPRITZER - MFR: MICRO MATIC #DP-1605
11	WALK-IN COOLER - MFR: THERMAL RITE 5'-0" X 11'-0"

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES
2. ALL DIMENSIONS ARE FROM THE FINISHED SURFACE OF WALLS, FLOORS OR CEILINGS
3. ALL DIMENSIONS INDICATED FOR ROUGH-INS SHALL BE TO THE CENTER OF THE ROUGH-IN.
4. UTILITY REQUIREMENTS SHOWN ON DRAWINGS ARE FOR THE FOOD SERVICE EQUIPMENT
5. GENERAL CONTRACTOR SHALL PROVIDE IN-WALL BACKING FOR ALL MOUNTED FOOD SERVICE EQUIPMENT AS REQUIRED. COORDINATE WITH K.E.C. FOR TYPES, SIZES, AND LOCATIONS OF BACKING.

ELECTRICAL NOTES

1. ELECTRICAL ROUGH-INS AND FINAL CONNECTIONS TO EQUIPMENT SHALL BE BY ELECT. CONT. MATERIALS FOR EQUIPMENT CONNECTIONS SHALL BE FURNISHED AND INSTALLED BY ELECT. CONT. AS NOTED ON DRAWINGS
2. ELECTRICAL DISCONNECTS ARE NOT FURNISHED WITH EQUIPMENT. THEY SHALL BE FURNISHED AND INSTALLED BY ELECT. CONTR. EXCEPT AS NOTED ON DRAWING
3. ALL CONDUIT SHALL BE CONCEALED IN WALLS, FLOORS OR CEILING EXCEPT ONLY WHERE ABSOLUTELY NECESSARY.
4. ALL CONDUIT AND ELECTRICAL CORDS SHALL BE LOCATED UP OFF THE FLOOR TO FACILITATE FLOOR CLEANING AND SHALL BE SUPPORTED FROM ABOVE. FLOOR MOUNTED SUPPORTS SHALL NOT BE USED
5. ELECT. CONTR. SHALL FURNISH AND INSTALL RECEPTACLES OF THE PROPER CONFIGURATION TO ACCOMMODATE THE PLUGS FURNISHED ON THE EQUIPMENT. COORDINATED WITH K. E. C.

PLUMBING NOTES

1. PLUMBING ROUGH-INS BY PLUMB. CONTR., INCLUDING FLOOR DRAINS, FLOOR SINKS, AND GREASE INTERCEPTORS
2. FINAL CONNECTIONS TO EQUIPMENT BY PLUMB. CONTR. SHALL CORRDINATE WITH K. E. C. ON CONNECTIONS TO EQUIPMENT
3. MATERIAL FOR EQUIPMENT CONNECTIONS INCLUDING PIPING, FITTINGS STOPS, TRAPS, BACKFLOW PREVENTION DEVICES, AND PRESSURE REGULATORS FURNISHED AND INSTALLED BY PLUMB. CONTR. EXCEPT AS NOTED ON DRAWING
4. ALL PIPING SHALL BE CONCEALED IN WALLS, FLOOR, OR CEILING EXCEPT ONLY WHERE ABSOLUTELY NECESSARY
5. ALL PIPING SHALL BE LOCATED UP OFF THE FLOOR TO FACILITATE FLOOR TO FACILITATE FLOOR CLEANING AND SHALL BE SUPPORTED FROM ABOVE. FLOOR MOUNTED SUPPORTS SHALL NOT BE USED.
6. WATER FILTERS OR SOFTENERS NOT FURNISHED WITH EQUIPMENT EXCEPT AS NOTED ON DRAWINGS.
7. GAS PRESSURE REGULATORS SHALL BE FURNISHED WITH THE EQUIPMENT (BY K. E. C.) AND INSTALLED BY PLUMB. CONTR.
8. SINKS, FAUCETS, AND DRAIN FITTINGS FURNISHED BY K. E. C. AND INSTALLED BY PLUMB CONTR.

LEGEND

- ⬡ EQUIPMENT ITEM
 - PLUMBING REQUIREMENT
 - ELECTRICAL REQUIREMENT
 - ▽ WALK-IN NOTES
- A. AMPRES
A. F. F. ABOVE FINISHED FLOOR.
C. R. COORDINATE RETURN
C. W. COLD WATER
D. R. DUPLEX RECEPTALE
E. C. EQUIPMENT CONNECTION
F. D. FLOOR DRAIN
H. P. HOUSE POWER
H. W. HOT WATER
J. B. JUNCTION BOX
K. E. C. KITCHEN EQUIPMENT CONTRACTOR
K. W. KILOWATT
P. W. PRE-WIRED
S. O. STUB OUT
S. S. STEM SUPPLY
S. R. SINGLE RECEPTALE
S. U. STUD UP



MULREADY'S
717 COMMERCIAL STREET
Emporia, Kansas



Ben Moore Studio
Architect
1501 H Avenue
Council Grove, KS 66846
785-477-3379
ben@benmoorestudio.com

SHEET NAME
Kitchen Equip
Issue: CD
Project #: 12-15
Filename: A1.mcd
Issue Date: 1/25/13
SHEET NUMBER
A10

ELECTRICAL:

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2005 NEC AND THE CITY OF EMPORIA REQUIREMENTS.
- CONTRACTOR TO PROVIDE ALL REQUIRED EMERGENCY LIGHTING AS REQUIRED BY CURRENT BUILDING STANDARDS.
- ALL CONDUCTORS SHALL BE 12 Ga. CU (THHN), AS A MINIMUM.
- ELECTRICAL EQUIPMENT IS TO BE FURNISHED, INSTALLED, AND HOOKED UP BY E.C. (UNLESS OTHERWISE NOTED).
- MATERIAL, DEVICES, EQUIPMENT, FIXTURES, ETC. SHALL BE NEW, UNUSED, AND HAVE THE U.L. LABEL. CEILING MOUNTED PENDENT FIXTURE SHALL BE SUPPLIED BY OWNER MAY BE USED FIXTURES.
- ELECTRICAL CONTRACTOR (E.C.) SHALL VERIFY ALL EQUIPMENT REQUIREMENTS WITH THE OWNER, SUPPLIER, MECHANICAL CONTRACTOR, PLUMBING CONTRACTOR, ETC. AND SHALL PROVIDE AND INSTALL ALL ELECTRICAL REQUIREMENTS SHOWN AND NOT SHOWN BUT DESIGNATED AS HIS WORK.
- PROVIDE ELECTRICAL SYSTEMS INDICATED ON DRAWINGS, SPECIFIED, OR REASONABLY IMPLIED. PROVIDE EVERY DEVICE AND ACCESSORY NECESSARY FOR PROPER OPERATION AND COMPLETION OF ELECTRICAL SYSTEMS. IN NO CASE WILL CLAIMS FOR 'EXTRA WORK' BE ALLOWED FOR WORK ABOUT WHICH ELECTRICAL CONTRACTOR COULD HAVE BEEN INFORMED BEFORE BID WERE RECEIVED.
- ELECTRICAL CONTRACTOR TO LOCATE LIGHTING FIXTURES, RECEPTACLE, SWITCHES, ETC. APPROX. AS SHOWN. COORDINATE LOCATIONS WITH OTHER TRADES.
- HEIGHT OF OUTLETS 18" A.F.F. (UNLESS OTHERWISE NOTED)
HEIGHT OF SWITCHES 42" A.F.F. (U.O.N.).
- GROUND FAULT CIRCUIT INTERRUPTION PROTECTION MAY BE ACCOMPLISHED BY USING PROTECTED RECEPTACLES OR PROTECTED CIRCUIT BREAKERS. MULTIPLE RECEPTACLES MAY BE PROTECTED FROM ONE PROTECTED RECEPTACLE PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE PHOTO CELL CONTROL FOR ALL EXTERIOR LIGHTS.
- EXISTING 200A 115/208V 3 ϕ ELECTRICAL SERVICE TO REMAIN.
- UNUSED ELECTRICAL DEVICES SHALL BE REMOVED AND DISCONNECTED BACK TO LAST JUNCTION BOX TO REMAIN.
- SEE SHEET A10 FOR ADDITIONAL ELECTRICAL NOTES AND EQUIPMENT SCHEDULE.

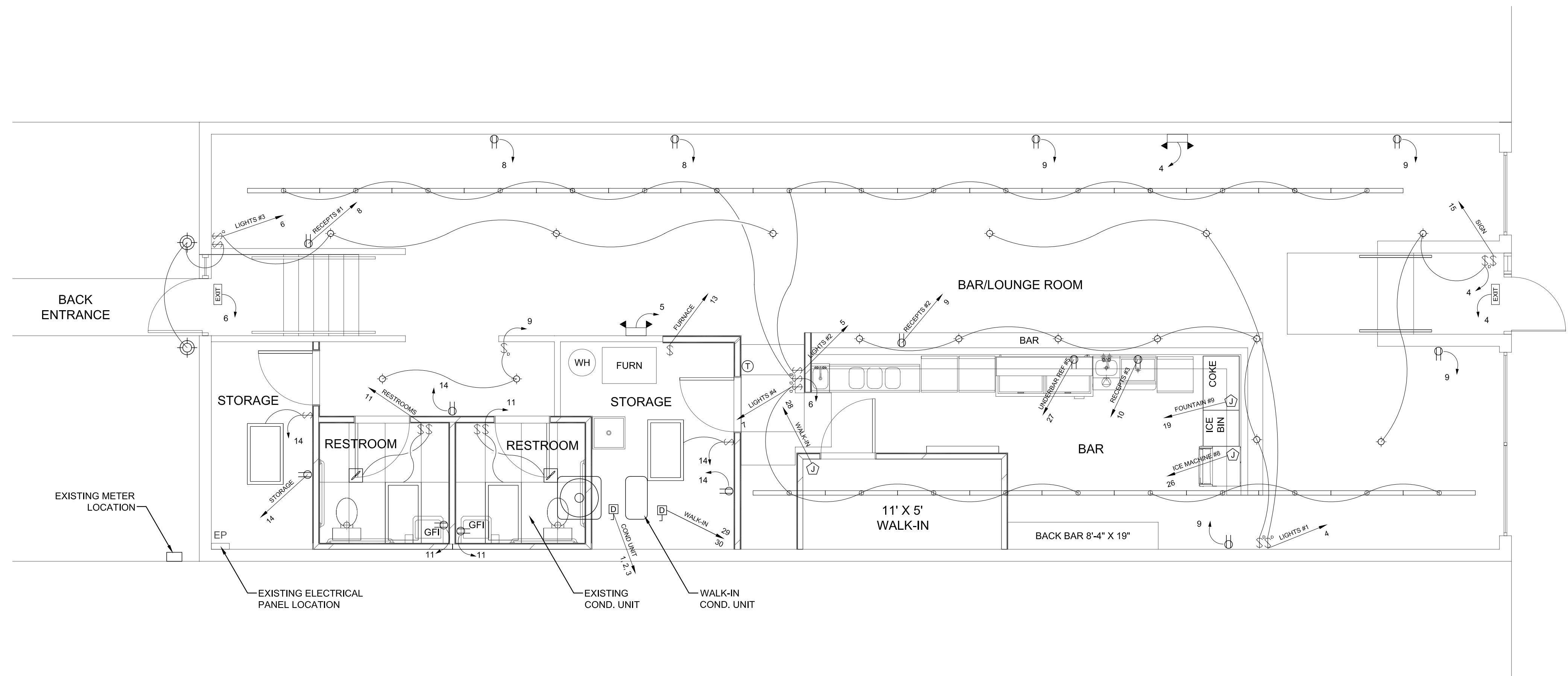
PANEL SCHEDULE
200A-115/208V, 3 ϕ , 3 WIRE
W/ 200A MAIN

NO.	DESCRIPTION	C/B SIZE
1	CONDENSING UNIT *	40A 3P
2	CONDENSING UNIT *	
3	CONDENSING UNIT *	
4	LIGHTS #1	20A 1P
5	LIGHTS #2	20A 1P
6	LIGHTS #3	20A 1P
7	LIGHTS #4	20A 1P
8	RECEPTS #1	20A 1P
9	RECEPTS #2	20A 1P
10	RECEPTS #3	20A 1P
11	RESTROOM #1	20A 1P
12	OPEN	20A 1P
13	FURNACE *	20A 1P
14	STORAGE	20A 1P
15	SIGN CIRCUIT	20A 1P
16	OPEN	20A 1P
17	OPEN	20A 1P
18	OPEN	20A 1P
19	FOUNTAIN EQUIP-ICE	20A 1P
20	OPEN	20A 1P
21	OPEN	20A 1P
22	OPEN	20A 1P
23	OPEN	20A 1P
24	OPEN	20A 1P
25	OPEN	20A 1P
26	ICE MACHINE	15A 1P
27	UNDERBAR REFRIGERATOR	15A 1P
28	WALK-IN FREEZER	15A 1P
29	WALK-IN FREEZER	15A 2P
30	WALK-IN FREEZER	15A 2P

NOTE:
* INDICATES EXISTING CIRCUIT. ACTUAL SERVICE
PANEL CIRCUITS SHALL BE DETERMINED BY OTHERS
TO MINIMIZE REWIRING OF THE SERVICE PANEL.

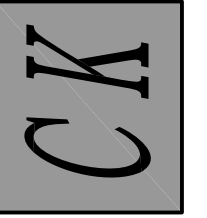
LEGEND

- 100W LIGHT FIXTURE
- DUPLEX ELECTRICAL OUTLET
- GFI GROUND FAULT INTERRUPTER
- EXHAUST FAN
- 4 BULB FLOURESCENT FIXTURE
- COMBINATION EXIT/EMERGENCY LIGHT WITH BATTERY BACKUP W/ REMOTE EXTERIOR LIGHT
- EMERGENCY LIGHT WITH BATTERY BACKUP
- CIRCUIT HOMERUN
- CIRCUIT CALL-OUT
- 100W EXTERIOR LIGHT FIXTURE
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- JUNCTION BOX
- DISCONNECT
- THERMOSTAT



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.
CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT
17 West 5th Ave., Emporia, KS 66801
620.343.8621 FAX 620.343.8621



No.	Date	By	Appr.
5			
4			
3			
2			
1			

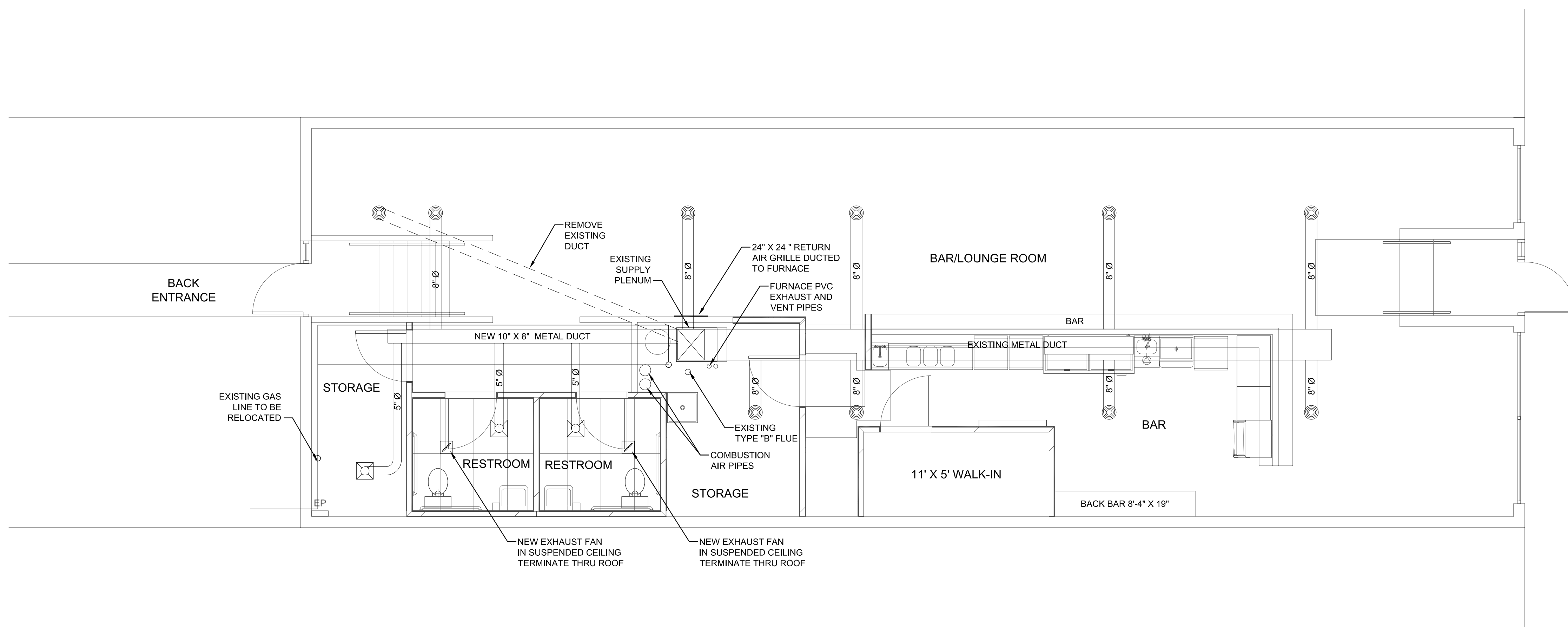
ELECTRICAL PLAN
717 COMMERCIAL ST.
EMPORIA, KS

Date: 02-04-13
Designed: DWO
Drawn: KHG
Checked: DWO
Approved:
Proj. No. 12.039
Sheet No:

E100

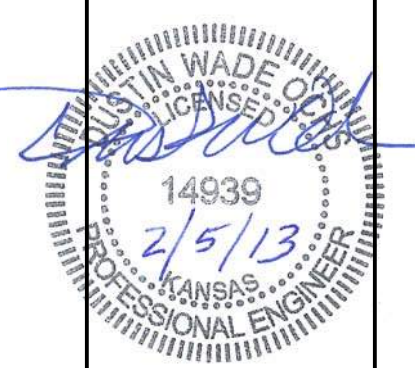
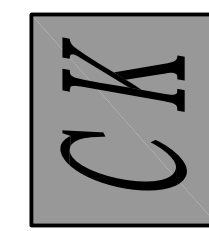
MECHANICAL NOTES:

1. ALL HVAC WORK SHALL COMPLY WITH THE 2003 UMC AND THE CITY OF EMPORIA REQUIREMENTS. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE LISTING AGENTS REQUIREMENTS.
2. PROVIDE STRUCTURAL SUPPORT TO BUILDING STRUCTURE SUFFICIENT TO SAFELY SUPPORT ALL PIPING AND EQUIPMENT.
- ~~3. SEE PLUMBING FIXTURE SCHEDULE AND HVAC EQUIPMENT SCHEDULE FOR UNIT CAPACITY REQUIREMENTS.~~
4. NEW SUPPLY AIR DUCTING TO BE METAL DUCT WITH 1/2" x 2 LB. INSULATION (MIN.) OR INSULATED ROUND METAL DUCT. NOTE: ALL DUCT SIZES ARE INSIDE DIMENSIONS. RETURN AIR DUCT TO BE INSULATED METAL DUCT. INSULATED, FACTORY-MADE AIR DUCTS ARE ACCEPTABLE.
5. PROVIDE RETURN AIR GRILLS AT ALL RETURN AIR LOCATIONS. PROVIDE DIFFUSERS/REGISTERS AT SUPPLY AIR OUTLETS AND ADJUST TO PROVIDE REQUIRED CFM.
6. PROVIDE COMBUSTION AIR OPENINGS (VERTICAL) IN MECHANICAL ROOM. ONE OPENING WITH SCREEN AND LOUVER WITHIN 12" OF CEILING. SECOND OPENING WITH SCREEN AND LOUVER TO WITHIN 12" OF FLOOR. EACH DUCT TO BE SIZED AT 1 SQ. IN. NET FREE AREA PER 4000 BTUH.
7. HVAC CONTRACTOR TO LOCATE SUPPLY AND RETURN DIFFUSERS/REGISTERS APPROXIMATELY AS SHOWN ON PLANS. COORDINATE LOCATIONS WITH OTHER TRADES. SEE ELECTRICAL PLANS FOR LIGHTING/CEILING LAYOUT.
8. PROVIDE THERMOSTAT FOR HEATING UNIT, LOCATED PER OWNER.
9. EXHAUST FAN EXHAUST DUCTS SHALL BE TERMINATED PER DETAIL I/A4.
10. PROVIDE FRESH AIR VENTILATION PER SECTION 1203.3 OF THE 2006 IBC.
- ~~11. PROVIDE 1 HOUR RATED FIRE DAMPERS AT ALL DUCT PENETRATIONS THROUGH WALLS AND CEILING OF ALL FIRE PROTECTED AREAS.~~
- ~~12. PROVIDE IN DUCT SMOKE DETECTORS PER UMC SECTION 608.~~
13. EXISTING BUILDING HVAC SYSTEM CONSISTS OF FURNACE ON 1ST FLOOR AND CONDENSING UNIT ON THE ROOF. EXISTING EQUIPMENT AND DUCTS SHALL REMAIN AND BE REPAIRED OR REPLACE AS NECESSARY TO HAVE AN OPERATIONAL SYSTEM.
14. NEW REST ROOM EXHAUST FANS SHALL BE BROAN MODEL SP100, 110 CFM, 120V, OR EQUIVALENT.



MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.
CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT
17 West 5th Ave., Emporia, KS 66801
620.343.8624 FAX 620.343.8624



No.	Date	By	Appr.
5			
4			
3			
2			
1			

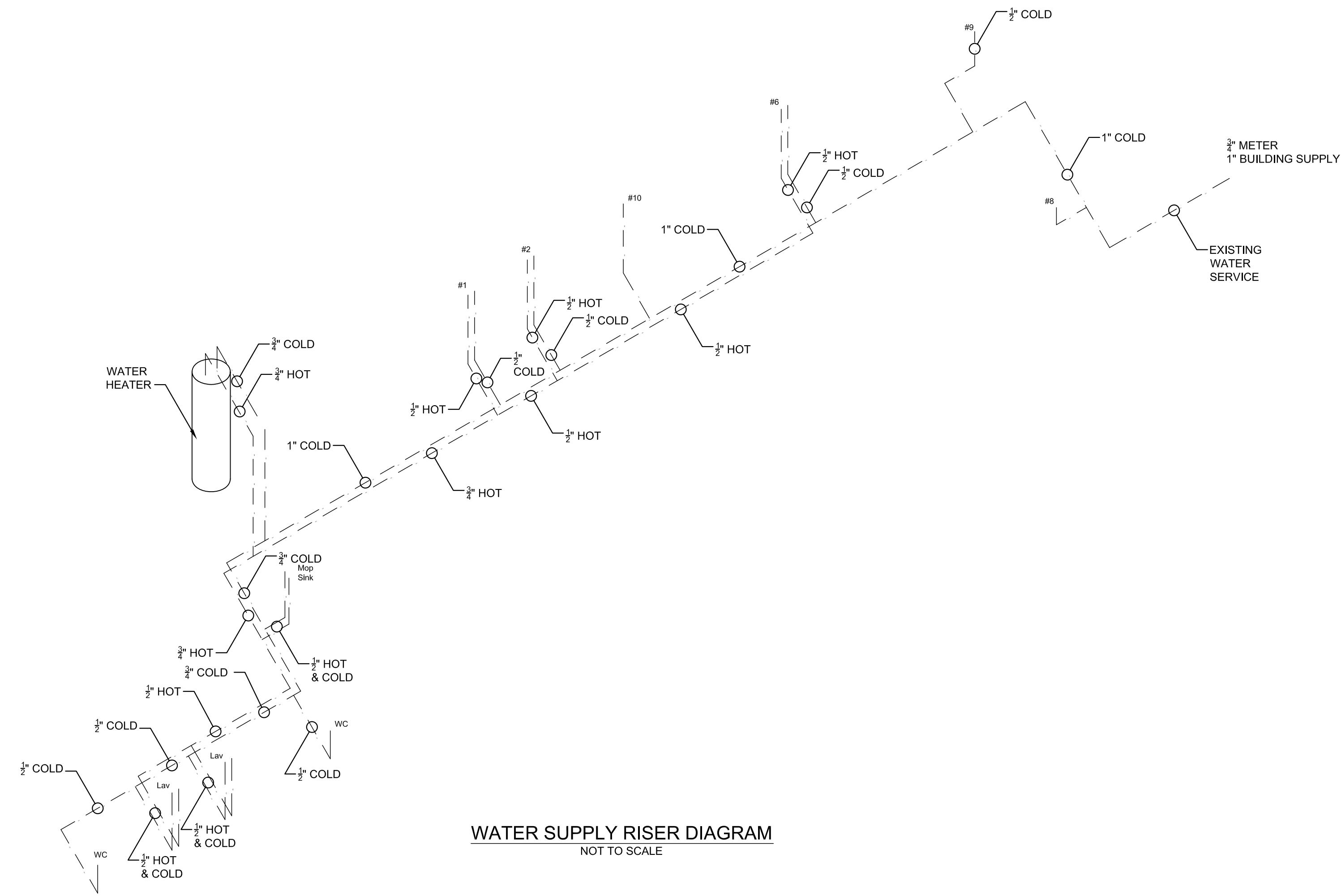
MECHANICAL PLAN
717 COMMERCIAL ST.
EMPORIA, KS

Date: 02-04-13
Designed: DWO
Drawn: KHG
Checked: DWO
Approved:
Proj. No. 12.039
Sheet No:

M100

Drawing Path: G:\cnc\on\server\10.1.1.100\Z\Projects\2012.039 Ben Moore Architect_Mulready Bar.dwg ;2012.039 Mulready's Bar.dwg
Plotted at: Feb 06, 2013 - 8:33am

Drawing Path: G:\cnc on server\10.1.1.100\Z\Projects\2012.039 Ben Moore Architect_Mulready Bar.dwg, 2012.039 Mulready's Bar.dwg
 Plotted at: Feb 06, 2013 - 8:45am



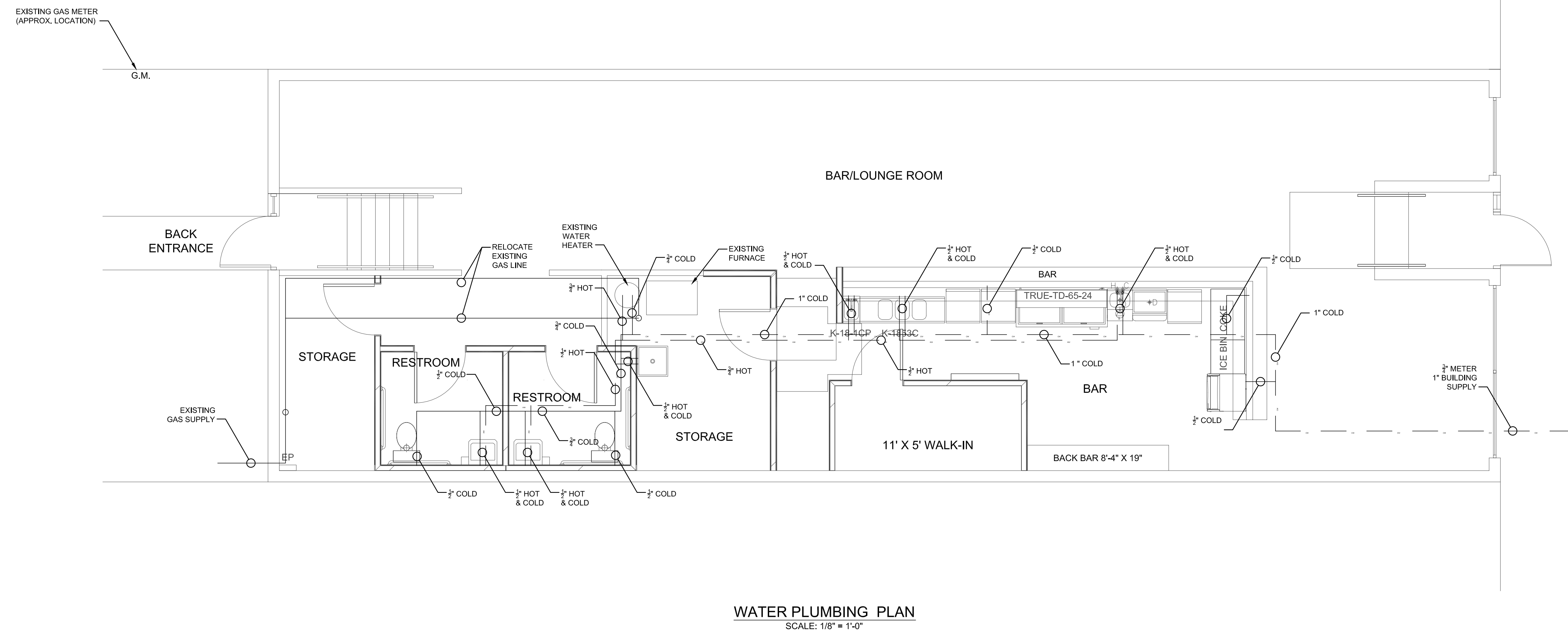
PLUMBING:

1. ALL PLUMBING WORK SHALL COMPLY WITH THE 2006 UPC AND THE CITY OF EMPORIA REQUIREMENTS. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS AND THE LISTING AGENTS REQUIREMENTS.
2. CONTRACTOR TO RELOCATE PLUMBING, AS REQUIRED, TO COMPLETE CONSTRUCTION.
3. VENT PIPES SHALL EXTEND THROUGH FLASHING AND TERMINATE NOT LESS THAN 6 INCHES ABOVE THE ROOF. VENT TERMINATION 3 FEET ABOVE OR WITHIN 10 FEET HORIZONTALLY OF ANY OPERABLE WINDOW, DOOR, OR AIR INTAKE ARE NOT PERMITTED.
4. DOMESTIC WATER LINES SHALL BE TYPE "M" COPPER ABOVE GRADE AND TYPE "K" COPPER BELOW GRADE. SANITARY SEWER LINES SHALL BE PVC, SCHEDULE 40.
5. CONSOLIDATE ALL VENT LINES TO MINIMIZE ROOF PENETRATIONS.
6. AGGEGATE CROSS-SECTIONAL AREA OF ALL VENTS TO BE NOT LESS THAN THAT OF THE LARGEST REQUIRED COMMON BUILDING SEWER.
7. INSULATE ALL WATER LINES, DRAIN LINES, AND TRAPS WHICH ARE EXPOSED TO FREEZING TEMPERATURE.
8. BATHROOM LAVATORIES SHALL HAVE 1/2" DRAIN AND 1/2" VENT LINES.
9. SINKS, MOP SINK AND FLOOR DRAINS SHALL HAVE 2" DRAINS AND 1/2" VENT LINES.
10. WATER CLOSETS SHALL HAVE 3" DRAINS AND 2" VENTS.
11. HOT AND COLD WATER SUPPLY LINES ARE TO BE 3/8" MIN. UNTIL NO MORE THAN 2 FIXTURES REMAIN.
12. HORIZONTAL TO HORIZONTAL, HORIZONTAL TO VERTICAL, AND VERTICAL TO HORIZONTAL PIPING FITTINGS SHALL BE LONG TURN FITTINGS.
13. ALL PLUMBING IS SHOWN IN APPROXIMATE LOCATIONS, ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SALVAGING EXISTING PIPING, AS NECESSARY, TO COMPLETE CONSTRUCTION.
14. UNLESS OTHERWISE NOTED, WATER SUPPLY LINES SHALL BE 3/8" CU.
15. EXISTING WATER LINES AND DWV LINES TO BE REUSED TO MAXIMUM EXTENT POSSIBLE. (REPLACE CORRODED/LEAKING LINES AS NECESSARY). CAP OFF AND REMOVE EXISTING LINES NOT TO BE RE-USED.
16. SEE SHEET A10 FOR ADDITIONAL PLUMBING NOTES AND EQUIPMENT SCHEDULE.

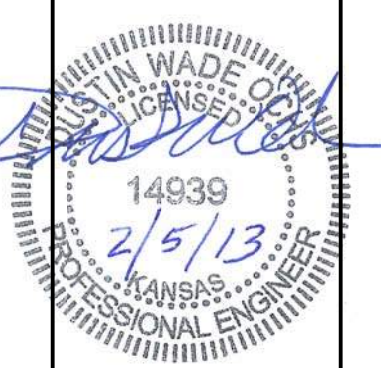
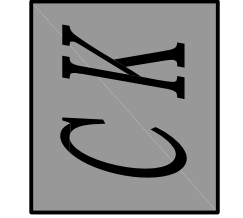
GAS LINE NOTES:

1. ALL PLUMBING WORK SHALL COMPLY WITH THE 2006 UPC AND THE CITY OF EMPORIA REQUIREMENTS. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE LISTING AGENTS REQUIREMENTS.
2. PROVIDE STRUCTURAL SUPPORT TO BUILDING STRUCTURE SUFFICIENT TO SAFELY SUPPORT ALL GAS LINES AND EQUIPMENT.
3. ALL GAS SUPPLY LINES TO EQUIPMENT FROM MAIN SUPPLY LINE SHALL BE 3/4" UNLESS MANUFACTURER'S INSTRUCTION SPECIFICATIONS DIFFER.
4. PROVIDE FLUE PIPES THROUGH ROOF FOR GAS APPLIANCES PER PLAN.
5. SEE GAS PIPING PLANS FOR GAS SUPPLY TO GAS EQUIPMENT SHOWN.
6. ALL GAS APPLIANCES SHALL HAVE SHUT-OFF VALVES, UNIONS AND DIRT LEGS.
7. ALL GAS PIPE TO BE BLACK IRON WITH THREAD SEALANT AT ALL THREADED JOINTS AND SHALL BE PRESSURE TREATED, U.N.O.

FIXTURE SCHEDULE	
	LAV. KOHLER WHITE 19" BROOKLINE VITREOUS CHINA 1 HOLE LAV. (ADA COMPLIANT WHEN INSTALLED IN 21" MINIMUM DEPTH COUNTER TOP). WITH DELTA SINGLE HANDLE LAVATORY FAUCET D540WFMPU (CHROME PLATED LEVER HANDLE). OR ACCEPTABLE EQUIVALENT
	WATER CLOSET KOHLER WHITE HIGHLINE COMFORT HEIGHT EB BOWL WITH 2 TRAPS. OR ADA EQUIVALENT
	(2) WHITEHAUS COLLECTION DROP-IN DOUBLE-BOWL BAR SINKS WITH 7" DEPTH MINIMUM WITH VOLA KV3 TWO HAND FAUCET W/ DOUBLE SWIVEL SPOUT OR ACCEPTABLE EQUIVALENT
	KITCHEN SINK STERLING SPRO2522- 3 HOLE STAINLESS STEEL SINK 6" DEPTH MINIMUM WITH DELTA SINGLE HANDLE KITCHEN FAUCET D150WF 3 HOLE INSTALLATION. OR ACCEPTABLE EQUIVALENT
	GERBER SIPHON JET/TOP SPUD WALL HUNG URINAL (MODEL #27-770) WITH SLOAN ROYAL (MODEL #186) EXPOSED URINAL FLUSH METER OR ACCEPTABLE EQUIVALENT.
	GRIFFIN FLOOR MOP SINK (MODEL #9-OP-20) WITH OVERALL DIM. 21"x25" (2" DRAIN) WITH MOP SINK FAUCET (MODEL #804002-B) OR ACCEPTABLE EQUIVALENT
	HAND WASH SINK
	EXISTING 30 GAL. 29" TALL, 21"Ø. OR ACCEPTABLE EQUIVALENT
	FROSTPROOF HOS BIBB WITH VACUUM BREAKER (OAE) (PROVIDE VACUUM BREAKER AT EXISTING HOSE BIBBS)
	2" PLASTIC ODDITIES PVC FLOOR DRAIN WITH CHROME STRAINER (OAE)
	2" PLASTIC ODDITIES PVC FLOOR CLEANOUT WITH CHROME COVER (OAE)



CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.
 CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT
 17 West 5th Ave., Emporia, KS 66801
 620.343.8621 FAX 620.343.8621

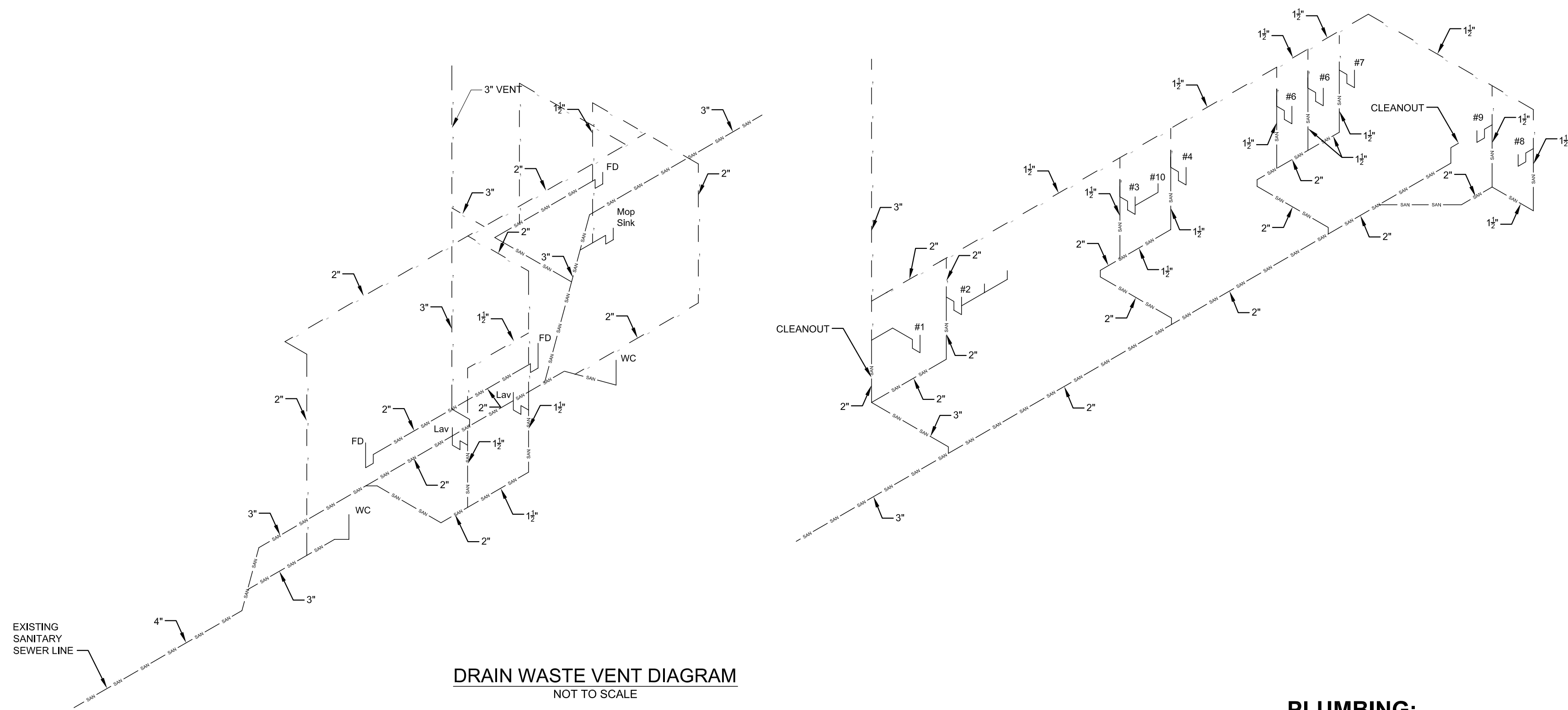


No.	Date	By	Appr.
5			
4			
3			
2			
1			

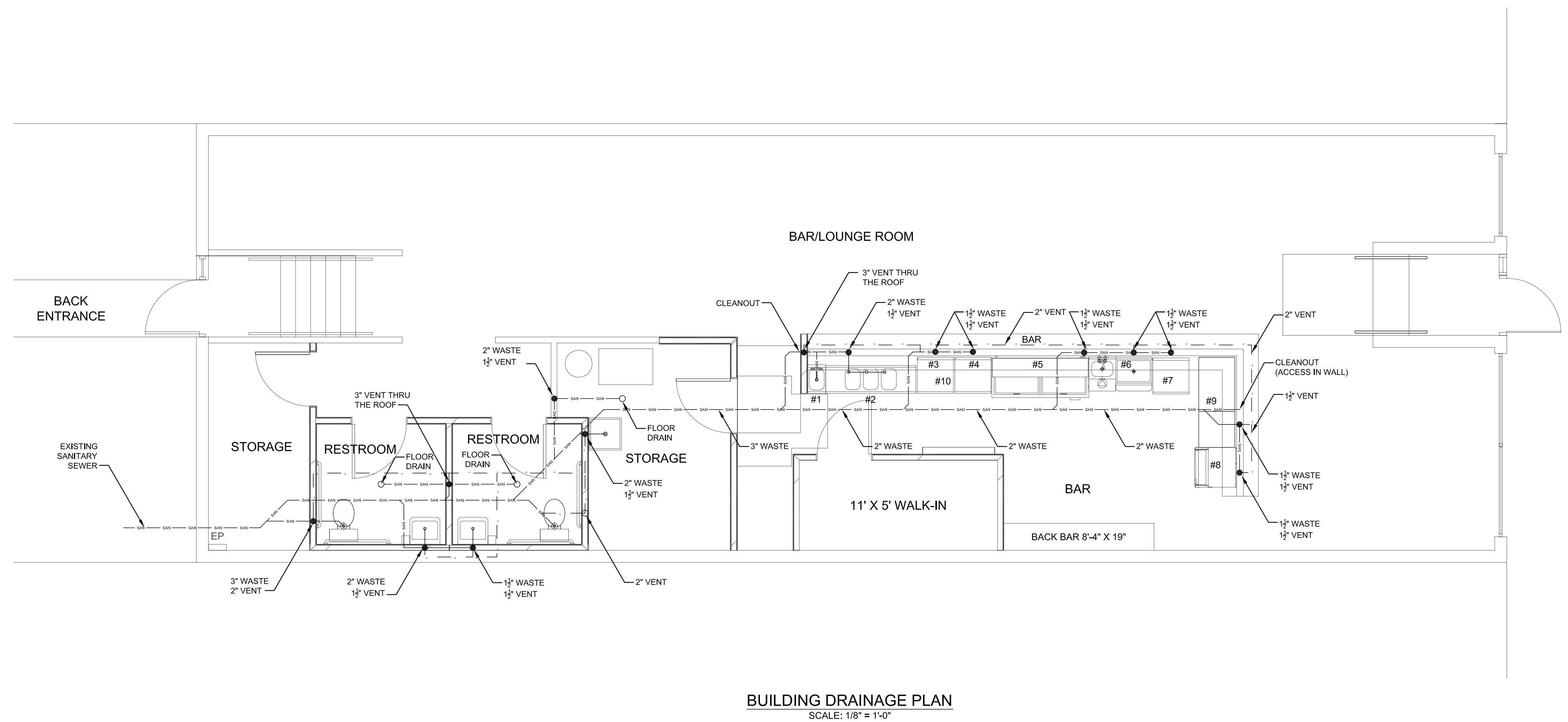
WATER SUPPLY PLAN
717 COMMERCIAL
EMPORIA, KS

Date: 02-04-13
 Designed: DWO
 Drawn: KHG
 Checked: DWO
 Approved:
 Proj. No. 12.039
 Sheet No:

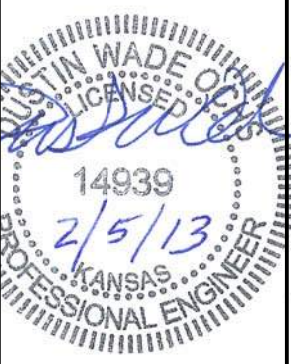
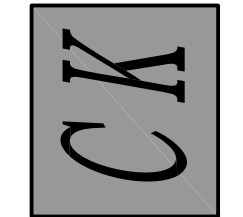
TABLE OF PIPE Ø		
	WASTE	VENT
LAVATORIES	1½"	1½"
SINKS	2"	1½"
FLOOR DRAINS	2"	1½"
MOP SINK	2"	1½"
URINAL	2"	1½"
WATER CLOSET	3"	2"



PLUMBING:
1 SEE SHEET P100 FOR PLUMBING NOTES



CENTRAL KANSAS ENGINEERING CONSULTANTS, L.L.C.
CIVIL ENGINEERING - PLANNING - CONSTRUCTION MANAGEMENT
17 West 5th Ave., Emporia, KS 66801
620.343.6624 FAX 620.343.6624



No.	Date	By	Appr.
5			
4			
3			
2			
1			

BUILDING DRAIN PLAN
717 COMMERCIAL
EMPORIA, KS

Date: 02-04-13

Designed: DWO

Drawn: KHG

Checked: DWO

Approved:

Proj. No. 12.039

Sheet No:

P200